

PART 6 – COMMERCIAL LAND USE DISTRICTS

General Regulations for All Commercial Land Use Districts

6.1 Accessory Developments in Commercial Districts

¹6.1.1 Where an accessory building is attached to the principal building by an open or enclosed roofed structure it shall be considered part of the principal building and be subject to the setback requirements for the principal building.

²6.1.2 Accessory buildings within the C1 – Neighbourhood Retail and Service District shall be located:

- (a) Not within a front yard setback area or within a front flanking yard setback area;
- (b) No closer than 1.2m (3.9ft) from any other building, on-site, unless attached to or located thereon;
- (c) No closer than 1.0m (3.3ft) from the rear property line;
- (d) No closer than 1.0m (3.3ft) from the side property line; and
- (e) Such that eaves and foundations do not encroach onto public utility lots or easement.

³6.1.3 Accessory buildings within the C1 – Neighbourhood Retail and Service District shall:

- (a) Not exceed 5.0m (16.4ft) in height;
- (b) Not exceed 3.0m (10.0ft) in height for vertical exterior walls;
- (c) Be finished with an exterior treatment complementing that of the principal building with respect to colour, finish, materials and texture; and
- (d) ⁴Have hard surfaced access from the street to the accessory building when intended for vehicular use.

⁵6.1.4 The height and setback of commercial accessory buildings within the C2 – Vehicle Oriented Retail and Service District and the C3 – Commercial Shopping Centre District

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shall be at the discretion of the Development Authority, subject to the Alberta Building Code.

- ¹6.1.5 Notwithstanding the above, accessory buildings and uses shall not be located in front of the principal building.
- 6.1.6 Covered decks, covered terraces and/or covered patios shall not be located in any minimum front or side yard setback area.
- 6.1.7 Uncovered decks below 0.6m (2.0ft) from grade, uncovered terraces and/or uncovered patios may be located within a minimum front or side yard setback area provided that:
 - (a) The area is used by clientele on a seasonal basis;
 - (b) Access to the area shall be from the principal building only; and
 - (c) The area shall be fenced off from adjoining public areas.

Shipping Containers

- ²6.1.8 Shipping containers may be located in the C2 – Vehicle Oriented Retail and Service District and C3 – Commercial Shopping Centre District provided that:
 - (a) There shall be no more than two shipping containers per site and they shall not be stacked;
 - (b) They shall be used for storage purposes only, excluding the storage of any dangerous or hazardous goods or materials; and
 - (c) They shall be located only at the rear of the principal building or in loading areas, and painted in a colour complementing the principal building on the site, to the satisfaction of the Development Authority.

6.2 Design and Appearance of Buildings and Structures

- 6.2.1 Commercial buildings and structures should be designed to:
 - (a) Complement and be compatible with adjacent development;
 - (b) Where located in a multi-unit development, utilize common characteristics and building forms to provide a cohesive identity throughout the development;

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- (c) Provide interesting facades, generally avoiding blank walls over 30.0m (98.4ft) in length, and providing a high degree of transparency on the ground floor;
- (d) Provide a similar level of architectural and design treatment on corner sites for all street frontages;
- (e) Provide appropriate transitions in height, scale and massing to adjacent lower intensity or residential sites; and
- (f) Provide highly visible, barrier-free entrances with direct access from pedestrian walkways and sidewalks.

6.3 Emergency Access to Commercial Buildings

¹²6.3.1 A lane or lanes for the purpose of permitting the access of fire-fighting equipment to all major access points of multi-tenant developments, such as shopping centre buildings, and to all fire risk utilities on the site shall be provided and no permanent structure or vehicular parking shall be provided thereon.

³6.3.2 Emergency access routes and fire lanes shall be appropriately signed to prohibit obstruction.

6.4 Fences, Walls and Hedges in Commercial Districts

6.4.1 Fences, walls or hedges within Commercial Land Use Districts on interior lots shall be no higher than:

- (a) 1.8m (6.0ft) along a rear or side yard property line; and
- (b) 0.9m (3.0ft) along the front yard property line.

6.4.2 Fences, walls or hedges within Commercial Land Use Districts on corner sites shall be no higher than 1.8m (5.9ft) for that portion of fence that does not extend beyond the front of the principal building abutting the front yard on the narrow frontage and 1.8m (6.0ft) on the side yard abutting a public roadway and lane if, in the opinion of the Development Authority, it will not prejudice the safety or amenities of the adjoining lot.

6.4.3 There shall be no electrification of fences and no barbed wire in Commercial Land Use Districts.

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6.5 Interface with Residential Land Uses

¹6.5.1 Where a proposed commercial use will be located on a site adjacent to a residential use, the Development Authority may require mitigation of potential development impacts on the residential use, including:

- (a) Provision of noise attenuation walls;
- (b) Increased landscaping, including a landscaped buffer in addition to the landscaping required in Section 4.8 General Landscaping Requirements and Section 6.6 Landscaping Requirements for Commercial Land Uses;
- (c) Relocation of parking areas, walkways, business entrances or other high activity areas away from residential property lines;
- (d) Screening or relocating on-site lighting to avoid spillage onto residential sites;
- (e) Restricting the location of outdoor speakers; and
- (f) Changing the proposed building or structure to mitigate noise, light or glare impact.

6.6 Landscaping Requirements for Commercial Land Uses

6.6.1 Required yards abutting public roadways, other than a lane, and/or residential developments shall be landscaped to buffer parking, loading and other hard surfaced areas. The Development Authority may require screening including but not limited to vegetation, masonry walls, earth berms or a combination thereof.

²³6.6.2 A minimum of 20% of the total site area of all commercial sites shall be landscaped, including all areas not occupied by buildings, parking areas or vehicular access areas. One tree for each 35 m² (376.7 ft²) and one shrub for each 15 m² (161.5 ft²) of landscape area shall be provided.

⁴6.6.3 (Deleted)

⁵6.6.4 (Deleted)

6.6.5 Landscaped buffers between parking, loading and other hard surfaced areas and adjacent public roadways shall be a minimum of 3.0m (9.8ft) in width.

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6.6.6 Landscaped buffers between parking, loading and other hard surfaced areas and adjacent residential sites shall be a minimum of 6.0m (19.7ft) in width and include shrubs or hedges, fencing and/or berms in order to interfere with vehicle headlights shining across property lines, to the satisfaction of the Development Authority.

6.6.7 If existing mature trees of at least 15.0cm (6 inches) or larger in calliper are retained on a development site, they may count as double towards the final number of trees required pursuant to this Bylaw.

¹²6.6.8 Parking Lots

As part of Section 6.6.2, landscaping within parking areas must be planted in accordance with the following standards:

- (a) Grade level parking areas accommodating 15 or more parking spaces shall incorporate landscaped areas at a minimum of 2.0 m² (21.5 ft²) for each parking space. Landscape areas within parking areas includes landscape islands or other areas within the parking area but shall not include landscaping within setbacks or landscape buffers.
- (b) Landscaping within the parking area shall include one tree for each 35.0 m² (376.7 ft²) of required landscaping and one shrub for each 15.0 m² (161.5 ft²) of required landscaping.
- (c) Landscape islands shall be provided at the beginning and end of each row of parking stalls.
- (d) Landscape islands shall be provided with no more than 20 parking stalls between islands; and
- (e) Landscape islands shall be a minimum length of at least 2.5 m (8.2 ft) for single row parking, and a minimum length of 5.0 m (16.4 ft) for double row parking.

6.7 Site Planning for Commercial Land Uses

6.7.1 Commercial sites shall be planned and designed to:

- (f) Ensure a coordinated and coherent pattern of roadways, outdoor spaces, landscaping, building forms and land uses with adjacent commercial developments;

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- (g) Provide appropriate transitions in scale and intensity to adjacent Residential Land Use Districts;
- (h) Provide direct pedestrian access to building entrances as well as other uses and buildings within the site;
- (i) ¹Link on-site pedestrian walkways and sidewalks with adjacent sidewalks on public roadways and rails; and
- (j) Provide for bicycle amenities and future transit connections.

6.7.2 To the extent reasonably feasible, sites should be designed to reduce the building and site development footprints, maximize the use of permeable surfaces and walkways, minimize paving, and provide natural shading of buildings and paved areas with trees and other landscape features to minimize the heat island effect.

²6.8 Heavy Vehicle Parking at Hotels

- 6.8.1 The parking of heavy vehicles (as defined in the Traffic Bylaw) associated with hotels requires approval from the Development Authority.
- 6.8.2 The submission of a Development Permit is required which shall include a site plan drawing, site parking statistics and any other information deemed necessary by the Development Authority.

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6.9 C1 – Neighbourhood Retail and Service District

6.9.1 Purpose

This District is intended to provide sites for the development of local retail and service outlets that provide for the sale of a variety of convenience goods and services on sites that share one or more property lines with Residential Land Use Districts.

6.9.2 C1 Permitted and Discretionary Uses

(a) C1 Permitted	(b) C1 Discretionary
<ul style="list-style-type: none"> - Business Support Service - Child Care Facility - Eating and Drinking Establishment - ¹Eating and Drinking Establishment (limited) - Health Service - Personal Service - Professional, Financial and Office Service - Retail Store (Convenience) - Retail Store (General) - Service Station (limited) - ²Sign, Channel Letter - Sign, Facsia - Sign, Freestanding - Sign, Identification - Sign, Portable - Sign, Projecting - ³Accessory development to any use listed in subsection 6.9.1(a) 	<ul style="list-style-type: none"> - Community Garden - Community Service Facility - Custom Manufacturing Establishment - Drive Through Service - Eating and Drinking Establishment (Outdoor) - ⁴Government Service - Indoor Recreation Facility - Outdoor Recreation Facility - Pet Care Service* - Place of Worship - Recycling Drop-off - Retail Store (liquor) - Service Station - Vehicle Wash - ⁵Veterinarian Clinic - ⁶Accessory development to any use listed in subsection 6.9.1(b) - ⁷(Deleted)

* Outside enclosures, pens, or exercise areas are not permitted

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6.9.3 C1 Site Subdivision Regulations

	Interior or Corner Site
a) Site Area	475.0m ² (5,221.9ft ²) minimum 0.6ha (1.5ac) maximum
b) Site Width	15.0m (49.2ft) minimum
c) Site Depth	30.0m (98.4ft) minimum

6.9.4 C1 Site Development Regulations

	Interior or Corner Site
a) Front Yard Setback	7.5m (24.6ft) minimum
b) Rear Yard Setback	No minimum for sites abutting a non-Residential Land Use District Minimum of 4.5m (14.8ft) or one-half (1/2) the height of the building, whichever is greater, for sites abutting a Residential Land Use District
c) Side Yard Setback	No minimum for sites abutting a non-Residential Land Use District Minimum of 4.5m (14.8ft) or one-half (1/2) the height of the building, whichever is the greater, for sites abutting a Residential Land Use District
c) Building Height	7.0m (23.0ft) maximum for principal building

6.9.6 Additional Development Regulations for C1:

- (a) All development and uses within this Land Use District are subject to the applicable provisions of Part 4 – General Regulations for all Land Use Districts, Sections 6.1 to 6.7 of Part 6 – Commercial Land Use Districts, Part 11 – Parking and Loading, and Part 12 – Signs;
- (b) The maximum permitted floor area of any individual business shall be 232.0m² (2,497.2ft²);

- (c) The siting and appearance of all buildings or improvements, and the landscaping of the site shall be to the satisfaction of the Development Authority in order that there shall be general conformity with adjacent buildings, and that there may be adequate protection afforded to the amenities of adjacent buildings and sites. The form and character of buildings shall complement adjacent residential character of the neighbourhood;
- (d) ¹(Deleted)
- (e) ²Retail store (liquor) shall not be permitted on parcels smaller than 0.8 ha.

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6.10 C2 –Vehicle Oriented Retail and Service District

¹6.10.1 Purpose

This District is intended to provide for vehicular orientated commercial development adjacent to arterial roadways and highways in order to promote convenient access and orderly flow of vehicular traffic.

6.10.2 C2 Permitted and Discretionary Uses:

(a) C2 Permitted	
<ul style="list-style-type: none"> - ²(Deleted) - Business Support Service - Child Care Facility - Commercial School - Community Service Facility - Drive Through Service - Eating and Drinking Establishment - Eating and Drinking Establishment (limited) - Emergency Response Service - Government Service - Health Service - Hotel - Indoor Entertainment Facility - Motel - Outdoor Entertainment Facility - ³(Deleted) - Parking Facility - Pawn Shop - Personal Service - Pet Care Service* - Professional, Financial, and Office Service - Recycling Drop-off 	<ul style="list-style-type: none"> - Retail Store (Convenience) - Retail Store (General) - Retail Store (Liquor) - Seasonal Garden Centre - Service Station - Service Station (limited) - ⁴Sign, Channel Letter - Sign, Fascia - Sign, Freestanding - Sign, Identification - Sign, Portable - Sign, Projecting - Sign, Roof - Vehicle Repair Facility (limited) - ⁵(Deleted) - ⁶Vehicle Sales, leasing, and rental facility (limited) - Vehicle Wash - Veterinarian Clinic - ⁷Accessory development to any use listed in subsection 6.10.2(a)

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(b) C2 Discretionary Uses	
<ul style="list-style-type: none"> - Communication Tower - Communication Tower (limited) - Custom manufacturing establishment - Eating and Drinking Establishment (Outdoor) - Electronic Message Sign - Funeral Home - Greenhouse - ¹Indoor Recreation Facility - Kennel* - Late Night Club 	<ul style="list-style-type: none"> - ²Outdoor Recreation Facility - Place of Worship - ³Retail Sotre (Cannabis) - Sign, Inflatable - Vehicle Repair Facility - Vehicle Sales, Leasing and Rental Facility - Warehouse Sales - ⁴(Deleted) - ⁵Accessory development to any use listed in subsection 6.10.2(b)

* Outside enclosures, pens or exercise areas are not permitted

6.10.3 C2 Site Subdivision Regulations

	Interior or Corner Site
a) Site Area	2,023.5m ² (0.5ac) minimum
b) Site Width	At the discretion of the Subdivision or Development Authority
c) Site Depth	At the discretion of the Subdivision or Development Authority

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6.10.4 C2 Site Development Regulations

	Interior or Corner Site
a) Front Yard Setback	7.5m (24.6ft) minimum
b) Rear Yard Setback	¹ 3.0m (9.8ft) minimum for sites abutting a non-Residential Land Use District 7.5m (24.6ft) minimum for sites abutting a Residential Land Use District.
c) Side Yard Setback	4.5m (14.8ft) ² 7.5m (24.6ft) minimum for sites abutting a Residential Land Use District
d) Building Height	14.0m (45.9ft) maximum

6.10.5 Additional Development Regulations for C2:

- (a) All development and uses within this Land Use District are subject to the applicable provisions of Part 4 – General Regulations for all Land Use Districts, Sections 6.1 to 6.7 of Part 6 – Commercial Land Use Districts, Part 11 – Parking and Loading, and Part 12 – Signs;
- (b) The siting and appearance of all buildings or improvements, and the landscaping of the site shall be to the satisfaction of the Development Authority in order that there shall be general conformity with adjacent buildings, and that there may be adequate protection afforded to the amenities of adjacent buildings and sites. The form and character of buildings shall complement adjacent residential character of the neighbourhood;
- (c) Where at least 50% of the required parking for a C2 – Vehicle Oriented Retail and Service District use is allocated in a parking garage, an additional one storey or 4.0m (13.1ft) may be permitted in addition to the maximum building height;
- (d) Except for off-street parking, loading areas and approved patios, all business activities shall be carried out entirely within completely enclosed buildings or structures;

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- (e) ¹The required side yard shall be increased by 1.0 m in depth for each storey above the first storey, when adjacent to residential; and
- (f) ²The required rear yard shall be increased by 1.0 m in depth for each storey above the first storey, when adjacent to residential.
- (g) ³Any business premises or multiple occupancy building having with a floor area of greater than 3000 m² or a single wall length greater than 25.0 m (82.0 ft) visible from a public road shall comply with the following:
 - i. The roof line and the building façade shall include design elements that reduce the perceived mass of the building; and
 - ii. Landscaping adjacent to exterior walls shall be used to reduce the perceived mass of the building and provide visual interest.

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6.11 C3 – Commercial Shopping Centre District

¹6.11.1 Purpose

This District is intended to provide for shopping centre developments, where the main focus is retail and service uses, serving a community, district, or regional trade area. This District will normally be applied in areas served by Major Collector or Arterial public roadways. Adequate buffering and land use regulations will apply to protect all adjacent residential areas.

6.11.2 C3 Permitted and Discretionary Uses:

(a) C3 Permitted	
- ² (Deleted)	- Recycling Drop-off
- Business Support Service	- Retail Store (convenience)
- Child Care Facility	- Retail Store (general)
- Commercial School	- ⁷ (Deleted)
- Community Service Facility	- Seasonal Garden Centre
- ³ (Deleted)	- ⁸ Sign, Channel Letter
- Eating and Drinking Establishment	- Sign, Fascia
- Eating and Drinking Establishment (limited)	- Sign, Freestanding
- Emergency Response Service	- Sign, Identification
- Government Service	- Sign, Inflatable
- Health Service	- Sign, Portable
- ⁴ (Deleted)	- Sign, Projecting
- Indoor Entertainment Facility	- Sign, Roof
- ⁵ (Deleted)	- ⁹ (Deleted)
- Outdoor Entertainment Facility	- ¹⁰ (Deleted)
- ⁶ (Deleted)	- ¹¹ (Deleted)
- Parking Facility	- ¹² (Deleted)
- Pawn Shop	- ¹³ (Deleted)
- Personal Service	- Veterinarian Clinic
- Pet Care Service*	- ¹⁴ Accessory development to any use listed in subsection 6.11.2(a)
- Professional, Financial, and Office Service	

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(b) C3 Discretionary Uses	
<ul style="list-style-type: none"> - Casino - Communication Tower - Communication Tower (limited) - Custom manufacturing establishment - ¹Drive Through Service - Eating and Drinking Establishment (outdoor) - Electronic Message Sign - Funeral Home - Greenhouse - ²Hotel - ³Indoor Recreation Facility - Kennel* - Late Night Club 	<ul style="list-style-type: none"> - ⁴Motel - ⁵Outdoor Recreation Facility - Place of Worship - ⁶Retail Store (Cannabis) - ⁷Retail Store (Liquor) - ⁸Service Station - ⁹Service Station (limited) - Vehicle Repair Facility - ¹⁰Vehicle Repair Facility (limited) - Vehicle Sales, Leasing and Rental Facility - ¹¹Vehicle Sales, Leasing and Rental Facility (limited) - ¹²Vehicle Wash - Warehouse Sales - ¹³(Deleted) - ¹⁴Accessory development to any use listed in subsection 6.11.2(b)

* Outside enclosures, pens or exercise areas are not permitted

6.11.3 C3 Site Subdivision Regulations

	Interior or Corner Site
a) Site Area	4,000.0m ² (0.99ac, 43,040.0ft ²) minimum
b) Site Width	At the discretion of the Subdivision or Development Authority
c) Site Depth	At the discretion of the Subdivision or Development Authority

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6.11.4 C3 Site Development Regulations

	Interior or Corner Site
a) Front Yard Setback	7.5m (24.6ft) minimum
b) Rear Yard Setback	Minimum of 3.0m (9.8ft) for site abutting a non-Residential Land Use District Minimum of 6.0m (19.7ft) for site abutting a Residential Land Use District
c) Side Yard Setback	Minimum of 3.0m (9.8ft) for site abutting a non-Residential Land Use District Minimum of 6.0m (19.7ft) for sites abutting a Residential Land Use District
d) Building Height	14.0m (45.9ft) maximum

6.11.5 Additional Development Regulations for C3:

- (a) ¹All development and uses within this Land Use District are subject to the applicable provisions of Part 4 – General Regulations for all Land Use Districts, Sections 6.1 to 6.7 of Part 6 – Commercial Land Use Districts, Part 11 – Parking and Loading, and Part 12 – Signs;
- (b) Where at least 50% of the required parking for a C3 – Commercial Shopping Centre District use is allocated in a parking garage, an additional one storey or 4.0m (13.1ft) may be permitted in addition to the maximum building height;
- (c) The siting and appearance of all buildings or improvements, and the landscaping of the site shall be to the satisfaction of the Development Authority in order that there shall be general conformity with adjacent buildings, and that there may be adequate protection afforded to the amenities of adjacent buildings and sites. The form and character of buildings shall complement adjacent residential character of the neighbourhood;

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- (d) Except for off-street parking, loading areas and approved patios, all business activities shall be carried out entirely within completely enclosed buildings or structures;
- (e) ¹The required side yard shall be increased by 1.0 m in depth for each storey above the first storey, when adjacent to residential; and
- (f) ²The required rear yard shall be increased by 1.0 m in depth for each storey above the first storey, when adjacent to residential.

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¹6.13 C5 – Fort Mall Redevelopment District

6.13.1 Purpose

This District is generally intended to provide regulations for the redevelopment of the Fort Mall site as envisioned in the Downtown Area Redevelopment Plan & Design Guidelines (Bylaw C14-08). A variety of land uses are supported in this district including residential, commercial, and mixed-use. Higher densities and scale greater than seen elsewhere in Fort Saskatchewan are supported, with high rise buildings accommodated in specific locations provided that the design ensures development relates to the adjacent areas and provides harmonious transitions. Open space and pedestrian connections will be provided to ensure ease of movement to and from the area, and opportunities for recreation. Special emphasis shall be given for the creation of a high quality public realm including urban plazas, outdoor amenity areas and interactive streetscapes.

6.13.2 C5 Permitted & Discretionary Uses:

(a) C5 Permitted Uses	
- ² (Deleted)	- ⁶ (Deleted)
- Apartment Dwelling	- Parking Facility
- Assisted Living Facility	- Personal Service
- ³ Assisted Living Facility (limited)	- Pet Care Service***
- Business Support Service	- Place of Worship
- Child Care Facility*	- Private Club
- Commercial School	- Professional, Financial, and Office Service
- Community Service Facility	- Public Facility
- Custom Manufacturing Establishment	- Retail Store (Convenience)
- ⁴ Dwelling, Multi-Attached	- Retail Store (General)
- Eating and Drinking Establishment	- Retail Store (Liquor)
- Eating and Drinking Establishment (limited)	- ⁷ Seasonal Garden Centre
- Eating and Drinking Establishment (outdoor)	- Show Home
- Emergency Response Service	- ⁸ Sign, Channel Letter
- Health Service	- ⁹ Sign, Fascia
	- Sign, Freestanding
	- Sign, Identification
	- Sign, Portable
	- Sign, Projecting

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<ul style="list-style-type: none"> - ¹Home Business* - Home Office - Hotel - Indoor Entertainment Facility - Indoor Recreation Facility 	<ul style="list-style-type: none"> - ²Sign, Specialty Projecting - Temporary Sales Centre - ³Accessory development to any use listed in subsection 6.13.2(a)
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(b) C5 Discretionary Uses	
<ul style="list-style-type: none"> - Casino - Government Service - Greenhouse - ⁴Kennel*** - Late Night Club - Live Work Unit - ⁵(Deleted) - Outdoor Recreation Facility - Pawn Shop 	<ul style="list-style-type: none"> - ⁶Retail Store (Cannabis) - Temporary Outdoor Event - Vehicle Sales, Leasing or Rental Facility (limited) - Veterinarian Clinic - ⁷(Deleted) - ⁸Accessory development to any use listed in subsection 6.13.2(b)

⁹*Child Care Facility and Home Business uses may not occur within an apartment dwelling

** Multi-attached Dwellings shall be limited to the Periphery Zone, as per Figure 6.13a

***Outside enclosures, pens, or exercise areas are not permitted

6.13.3 Site Development Regulations

	Interior or Corner Site	
a) Site Area	Minimum	300.0m ² (3229.2ft ²)
	Maximum	N/A
b) Site Width	Minimum	At the discretion of Development Authority
	Maximum	At the discretion of Development Authority
c) Front Setback	Minimum	¹⁰ Non-residential uses at ground floor 0.0m (0.0ft) to 1.4m (4.6m) to achieve a continuous pedestrian zone of 3.4m (11.2ft) Residential uses at ground floor 3.0m (9.8ft) with display gardens

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		Residential uses at ground floor abutting MR 1.0m (3.3ft) with display gardens in the MR
d) Side Setback	Minimum	¹ 0.0m (0.0ft)
e) Rear Setback	Minimum	² 0.0m (0.0ft) when abutting a Non-Residential Land Use District 4.5m (14.8ft) or one-half (1/2) the height of the building, whichever is greater, for sites abutting a Residential Land Use District
f) Site Coverage	Maximum	70%
g) FAR	Maximum	³ 4.0
h) Unit Density	Maximum	⁴ 200 units per net developable hectare for sites less than 1500.0m ² 350 units per net developable hectare for sites greater than 1500.0m ²
i) Height		As per Section 6.13.4 of this Bylaw
j) ⁵Common Amenity Area	Minimum	Apartment Dwellings 4.5m ² (48.4ft ²) per dwelling unit All other Residential Dwellings At the discretion of the Development Authority. This can include indoor and outdoor amenities such as seating areas and roof top patios
k) ⁶Private Amenity Area	Minimum	Residential Dwellings at Grade and Above Grade 3.0m ² (32.3ft ²) per dwelling unit to be provided by balconies, decks, patios or rooftop amenity area*** Residential Dwellings Below Grade To be provided through the common amenity area

*** Private Amenity Area shall only be provided by balconies in Apartment Dwellings

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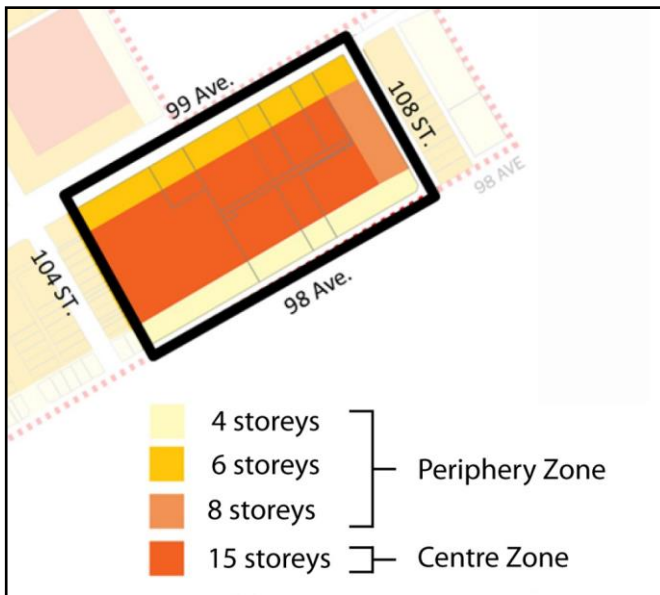
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Urban Design Regulations

6.13.4 Urban Form

- a) Maximum building height shall be determined based upon:
 - i. ¹The location of the building in proximity to the public roadways, as per Figure 6.13a; and
 - ii. ²Along 98 Avenue, new development shall have a minimum height of 2 storeys when located in the Periphery Zone, and a minimum height of 4 storeys in the Centre Zone, as per Figure 6.13a.
 - iii. ³Building heights shall be transitioned through appropriate stepbacks as per Figure 6.13a.

⁴⁵Figure 6.13a: Fort Mall Site Maximum Heights Diagram



- b) The maximum building height for buildings greater than 5 storeys shall be limited by the application of a 45 degree angular plane, as per Figure 6.13b.

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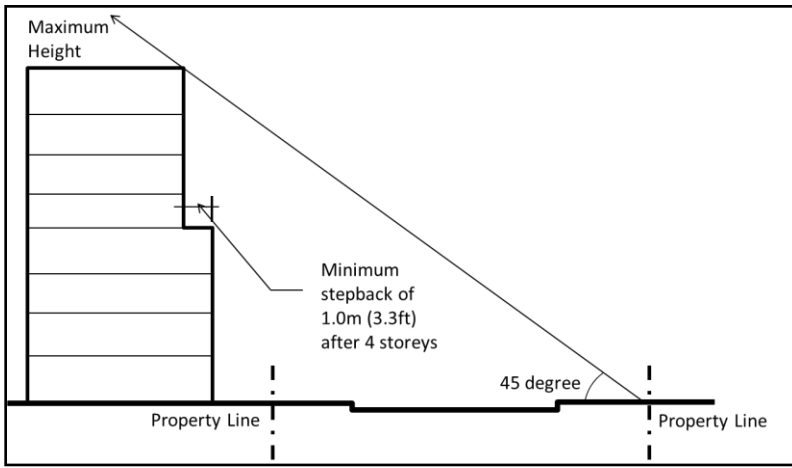
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Figure 6.13b: 45 Degree Angular Plane Method for Determining Height Maximums

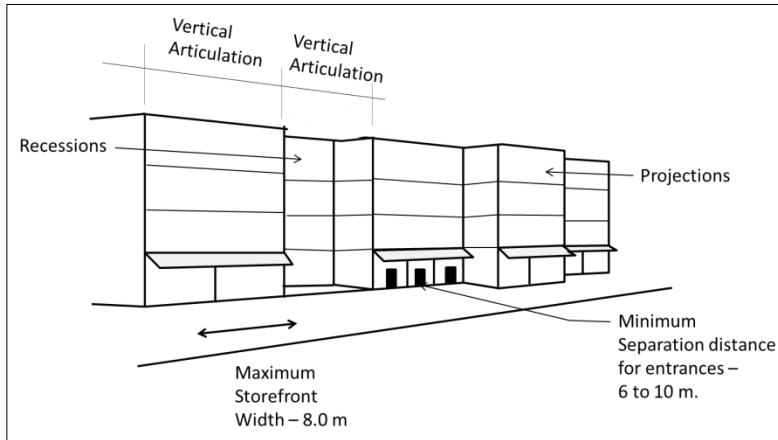


- c) The maximum parapet height for all new buildings shall not exceed 1.5m (4.9ft); and
- d) Vents, mechanical rooms and equipment, elevator penthouses etc. shall be integrated into the architectural treatment of building roof or screened with materials and finishes compatible with the building.

6.13.5 Street Character and Pedestrian Realm

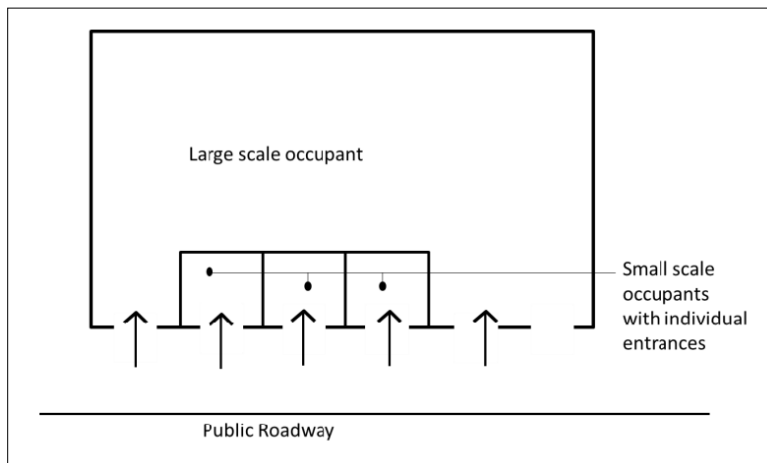
- a) For buildings where the ground floor is occupied by non-residential tenancy, the front setback shall be hard surfaced with a consistent treatment and theme from the City sidewalk to the satisfaction of the Development Authority;
- b) To avoid monotony in architecture, all buildings shall be required to provide a vertical articulation in the streetwall fronting public roads using a variety of colours, materials, projections as well as recessions in the building façade, as per (Figure 6.13c);

Figure 6.13c: Vertical Articulation Specifications



- c) Individual retail store frontages along 99 Avenue at ground floor shall not exceed 8.0m (26.3ft) in width, as per Figure 6.13c;
- d) Where feasible, entrances for commercial and office uses shall be located at intervals of 6.0m to 10.0m (19.7ft to 32.8ft) along building façades fronting public roadway; and
- e) For new construction, large scale commercial uses at ground floor shall be required to provide small scale individualized tenancy fronting the public roadway, as per Figure 6.13d.

Figure 6.13d: Small Scale Occupancy in Large Scale Commercial Uses



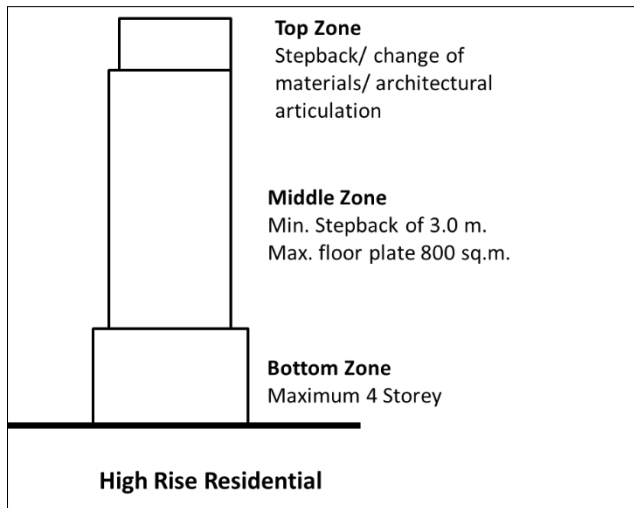
6.13.6 Open Space and Linkages

- a) A minimum 15% of the Fort Mall site area shall be dedicated as publically-accessible open space that is connected to the wider city level open space network;
- b) Open space shall be developed and landscaped in accordance with Section 4.8 to 4.11 of this Bylaw. In addition, street furniture such as benches, waste receptacles, garden lighting, etc. may be required to enhance the open space to the satisfaction of Development Authority; and
- c) New private or public roads in this district shall be designed in a manner to re-establish the typical block pattern and the street grid found in Fort Saskatchewan's downtown.

6.13.7 Building Massing and Architectural Character

- a) Buildings at the intersection of the following streets shall be required to incorporate special architectural treatment to mark entrances to the downtown and key focal points:
 - i. 99 Avenue and 106 Street; and
 - ii. 99 Avenue and 108 Street.
- b) Buildings more than 5 storeys shall provide three distinct vertical zones, as per Figure 6.13e, and meet the following step back requirements:
 - i. The base zone shall be a minimum of two storeys and a maximum four storeys, and shall be integrated with townhouses, apartments or commercial retail units; and
 - ii. The middle zone shall provide a minimum setback of 3.0m (9.8ft) and a maximum floor plate of 800m² (8611ft²).
 - iii. The top zone shall be required for high rise buildings and shall include the top three stories. The top zone shall provide either an additional setback or a change in material/colour or special architectural treatment to the satisfaction of the Development Authority.

¹ Figure 6.13e: Vertical Zones in Mid-rise and High-rise Buildings



- c) A minimum separation distance of 25.0m (82.0ft) measured perpendicularly to building face shall be provided between the shafts (middle zones) of two high rise towers;
- d) Building façade on corner sites shall address both public roadways;
- e) New developments shall be encouraged to incorporate public art into building façades; and
- f) Large blank façades with opaque surfaces shall be minimised to the satisfaction of the Development Authority.

6.13.8 Pedestrian Entrances

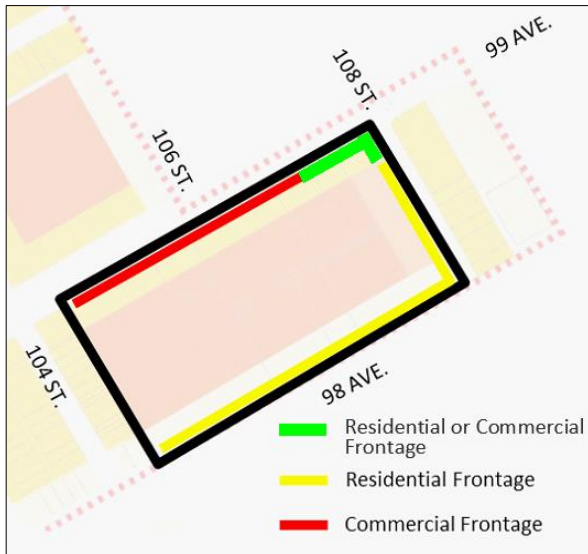
- a) Ground floor entrances for commercial/office uses shall be level with grade of the adjacent sidewalk;
- b) Ground floor entrances for residential units fronting public road shall provide a 1.0m (3.3ft) grade separation from adjacent sidewalk to provide visual privacy for residential units; and
- c) Entrances to commercial uses at ground floor and residential uses above ground level shall be architecturally differentiated from each other.

¹ C15-17

6.13.9 Ground Floor Treatment

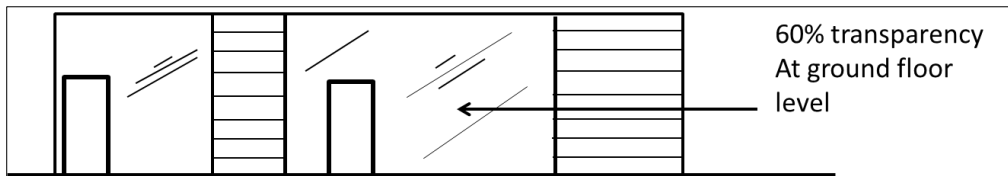
- a) The land uses along ground floors of all buildings shall be as per Figure 6.13f, whereas:
 - i. Ground floor uses along 99 Avenue shall be limited to commercial or residential development;
 - ii. Ground floor uses along 98 Avenue shall be limited to residential development; and
 - iii. ¹(Deleted)

Figure 6.13f: Ground Floor Frontage Use Designations



- b) Facade improvement or facades for newly constructed buildings with non-residential uses located on the ground floor facing a public street or public area shall provide a minimum 60% transparency on the ground floor level to encourage pedestrian interactions and safety, as per Figure 6.13g.

Figure 6.13g: Transparency in Ground Level Commercial Developments



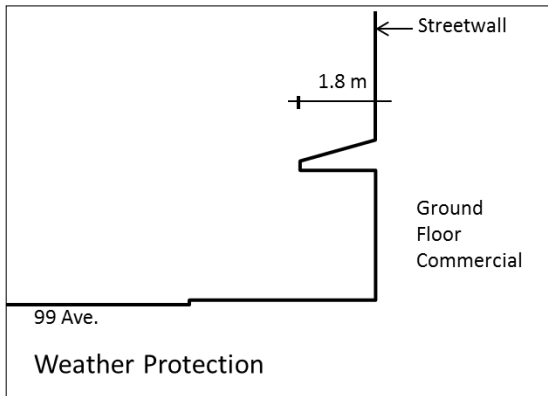
- c) Principal entrances of dwelling units or commercial retail units provided at the ground floor level shall provide direct access to the adjacent public sidewalk.

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6.13.10 Canopies and Weather Protection

- a) A continuous weather protection of minimum 1.8m (5.9ft) width at the ground floor of all building façades fronting 99 Avenue shall be encouraged, as per Figure 6.13h.

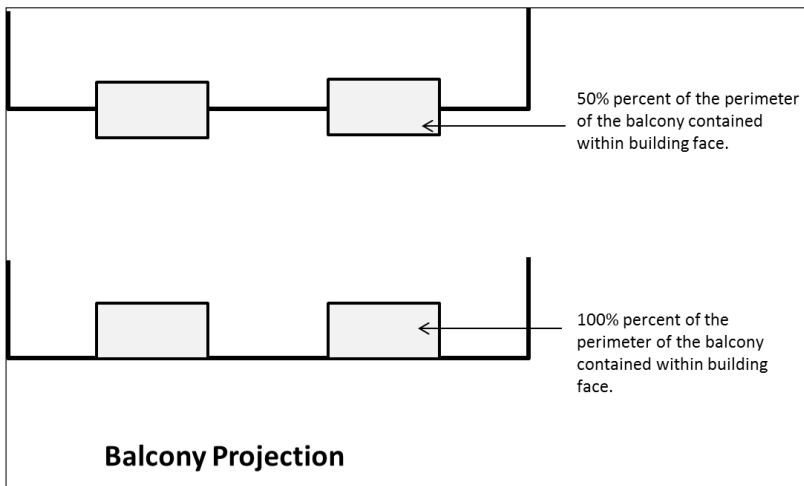
Figure 6.13h: Canopies and Weather Protection



6.13.11 Building Projections

- a) ¹Balconies on the streetwall shall be partly or fully recessed from the building face with approximately 50% of their perimeter contained by exterior walls of the building, as per Figure 6.13i.

Figure 6.13i: Balcony Projection



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- b) Balcony projections may project beyond the floor plate restrictions or the front streetwall up to a maximum of 1.0m (3.3ft) but shall in no case project beyond the property line.

6.13.12 ¹General Parking Requirements

- a) On-site parking should be provided at the rear or sides of buildings, within underground parkade or above-ground parking structures. Surface parking areas should not be developed adjacent to any public roadway other than a lane, unless a suitable interface with the abutting street is provided to the satisfaction of the Development Authority.
- b) Corner sites may have surface parking areas located on the side of the building, facing the flanking roadway when screened from public view.
- c) The Development Authority may consider granting additional Floor Area Ratio, if the applicant agrees to provide underground parking stalls to meet all parking requirements of the project.
- d) Uses and developments not specified in an approved Parking Impact Assessment shall meet the Minimum Parking Requirements for Downtown, as per Table 11.e. Drive-through service should be limited;
- e) Structured parking facilities shall generally be provided at locations internal to the site. If such parking facilities are located fronting a public roadway, then the following design considerations shall be utilized:
 - i. Ground floor shall include retail uses with multiple entrances;
 - ii. Entrance to the parking facility shall be designed with special architectural treatment to maintain the integrity of retail frontage; and
 - iii. The facade of the upper storeys of the parking facility shall be designed to reflect residential or commercial building character.

6.13.13 ²Circulation, Accesses, Loading and Waste Collection

- a) ³(Deleted)

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- b) All vehicular access to parking and on-site service areas, parking facilities, waste storage/collection areas as well as loading facilities shall be screened from public roadways using enhanced landscape treatment or special architectural features.
- c) Where possible, vehicular entrances to underground parking facilities and passenger drop-off areas shall be provided from the rear of buildings.
- d) Internal roadway network shall be designed to improve walkability and reduce shortcutting by vehicular traffic.
- e) ¹(Deleted)
- f) ²(Deleted)
- g) ³(Deleted)
- h) Garbage and recycling containers shall provide a minimum setback of 1.0m (3.3ft) from a property line and be screened using appropriate architectural or landscaping treatment to the satisfaction of Development Authority.
- i) ⁴(Deleted)

6.13.14 Signage

- a) Buildings on corner sites shall provide signage on both building façades; and
- b) Projecting signs may project beyond the streetwall by a maximum of 1.0m (3.3ft) and should be restricted to ground floor only.

6.13.15 Additional Development Regulations for C5

- a) ⁵All development and uses within this Land Use District are subject to the applicable provisions of Part 4 - General Regulations for all Land Use Districts, Sections 6.1 to 6.7 of Part 6 - Commercial Land Use Districts, Part 11 - Parking and Loading, and Part 12 – Signs.
- b) Except for off-street parking, loading areas and approved patios, all business activities shall be carried out entirely within completely enclosed buildings or

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structures. Sidewalk sales, tent sales, or farmers markets shall be considered in the approved open space areas such as parking lots or plazas in accordance with the regulations for Temporary Outdoor Events; and

- c) The siting and appearance of all buildings or improvements, and the landscaping of the site shall be to the satisfaction of the Development Authority in order that there shall be general conformity with adjacent buildings, and that there may be adequate protection afforded to the amenities of adjacent buildings and sites. The form and character of buildings shall complement adjacent residential character of the neighbourhood.