

Fort Saskatchewan

WESTPARK

AREA STRUCTURE PLAN

BYLAW C8-13

March 12, 2024



CITY OF
FORT SASKATCHEWAN

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EXECUTIVE SUMMARY

The Westpark Area Structure Plan (ASP) provides land uses, access and servicing, and policy direction for a 500 hectare (1235 ac) area on the west side of Fort Saskatchewan that will ultimately accommodate a population of 10,500 – 11,200. The principles and objectives established in the Plan will guide the location, intensity and character of land uses, as well as the circulation patterns within the neighbourhood until fully developed.

The Plan complies with the Municipal Government Act, and is based on policy guidance from the Municipal Development Plan, Community Sustainability Plan, previous Westpark Area Structure Plan, the Capital Region Growth Plan, and other significant policy documents.

Key elements of the Westpark area include:

- An assortment of residential housing types and densities;
- A variety of commercial sites and opportunities;
- Two undeveloped school sites, based on the needs of Elk Island Public School district and the Elk Island Catholic School district;
- West River's Edge Recreation Area and West River's Edge Pavilion;
- Southern boundary roadway through the neighbourhood to provide access to the West River's Edge Recreation Area and Pointe-Aux-Pins residences in Strathcona County, in accordance with the City of Fort Saskatchewan-Strathcona County Boundary Accord (2001);
- Approximately 235 hectares (580 acres) of parks and open space, including the 196 hectares (483 acres) West River's Edge Area;
- An interconnected walkway system that links the major open space areas with the City's trail systems; and
- General water, sanitary and storm water servicing schemes required to efficiently service the neighborhood.

2013 Update - Population Estimates:

- 1300 – 1600 new dwelling units, totaling 3800 – 4100 dwelling units;
- 3600 - 4400 new residents, totaling 10,500 – 11,200 residents;
- A variety of commercial location, including two major commercial nodes totaling 15 hectares (37 acres) or retail land, and a neighbourhood service site; and

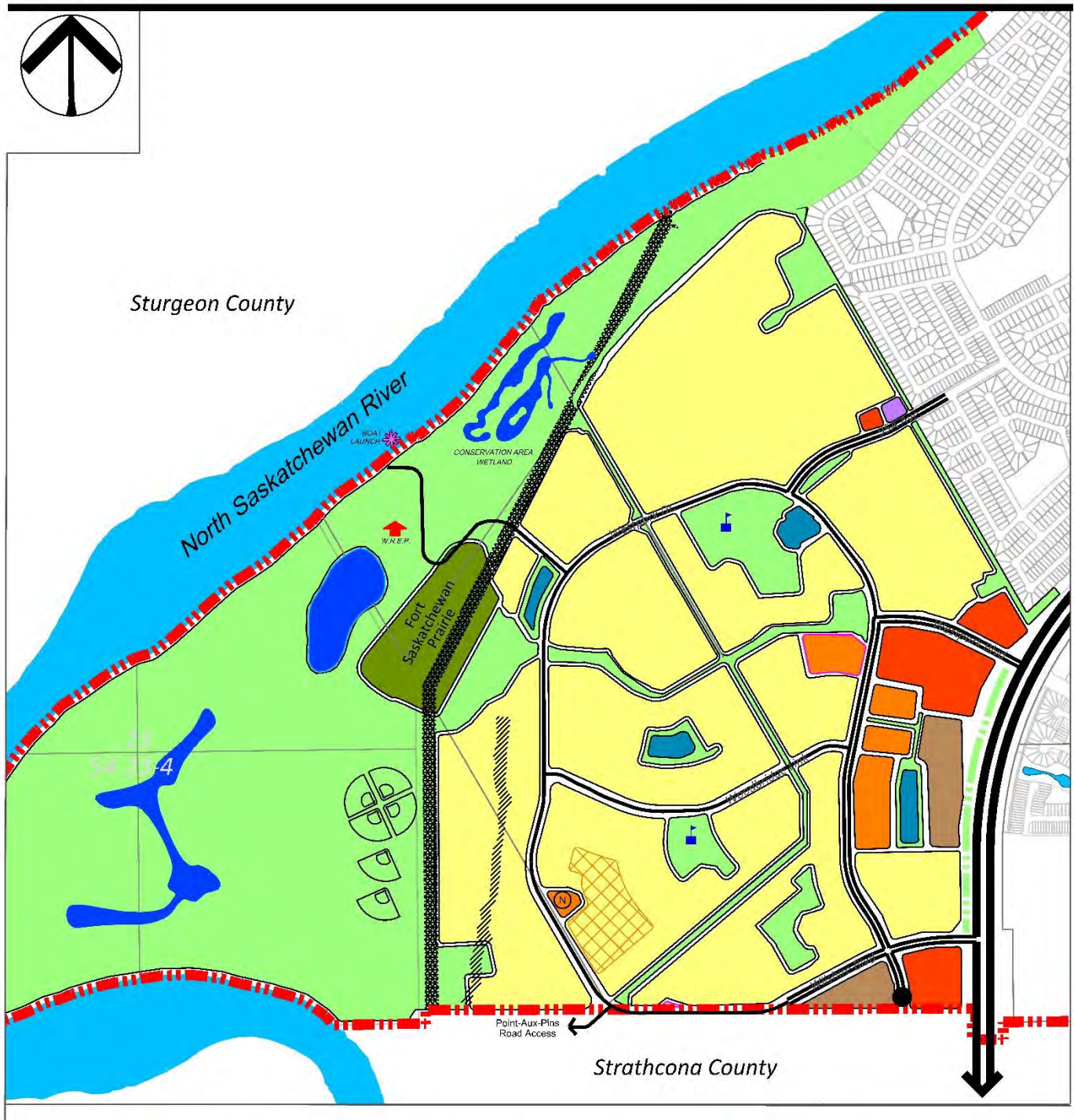


- 2 school sites, including a Public elementary/junior high school, and a Catholic elementary/junior high school.

The population estimate of 10,500 – 11,200 people is lower than the 2003 estimate of 12,200 people. This is largely attributed to population trends, where fewer people are occupying a dwelling unit than estimated in 2003, according to the 2012 Municipal Census. Development estimates are summarized in **Appendix A**.

The Plan is sensitive to the existing developed areas, and sets forth goals and objectives for development of the remaining area. The Plan is intended to be flexible in implementation. Specific details of site design, minor circulation patterns, and lot layout, will be determined through subsequent Outline Plans or Neighbourhood Structure Plans, subdivision plans, and development permits.





Land Use Concept City of Fort Saskatchewan Westpark Area Structure Plan

- Municipal Boundary
- West River's Edge Pavillion
- Power Line R/W

- Low Density Residential
- Flexible Mixed Low and Medium Density Residential
- Medium Density Residential
- High Density Residential
- Park
- Potential School Site
- Urban Forest Corridor
- Top of Bank

- Storm Water Management Facility
- Fort Saskatchewan Prairie Reserve
- Commercial
- Neighborhood Service
- Institutional
- Freeway
- Arterial
- Collector



Note: All size, locations, and areas depicted are conceptual. Actual location & size will be determined through the outline plan and subdivision approval process. The number, size, and location of future school sites may change in response to student demographics. Building of new schools and other institutional uses is dependant upon provincial funding.

Jan 22 2024



City of Fort Saskatchewan
Westpark Area Structure Plan

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1.0 INTRODUCTION AND BACKGROUND

1.1 Forward

Strong economic growth in the Capital Region and northern Alberta has increased the demand for new housing, commercial, and institutional development in Fort Saskatchewan. The City's primary locations for growth are the Westpark and Southfort communities.

The objective of the Westpark Area Structure Plan (the Plan) is to provide a framework for development of a primarily residential neighbourhood that is attractive, sustainable, complete, and complementary to Fort Saskatchewan.

The Plan complies with the Municipal Government Act, and is based on policy direction from the Municipal Development Plan, Community Sustainability Plan, previous Westpark Area Structure Plan, the Capital Region Growth Plan, and other significant policy documents.

1.2 Background and Purpose

The Westpark Area Structure Plan Bylaw C13-95 was originally approved in July of 1995. Significant updates to reflect community developments occurred in 2003, and 2013. The objectives of the Plan are to:

- Provide a comprehensive summary of the development objectives for the Westpark area;
- Incorporate the objectives and principles of previously approved policy documents; and
- Provide the City of Fort Saskatchewan with a statutory framework to guide future decisions on redistricting and subdivision of lands in Westpark.

In 2013, updates were completed to reflect Fort Saskatchewan's current status and future direction, and to ensure consistency with the principles and policies of the Municipal Development Plan, Community Sustainability Plan, and Capital Region Growth Plan. The 2013 Updates did not introduce any new land supply within Fort Saskatchewan, but rather redistributed and refined future land uses within undeveloped portions of the previously planned area. Future development of these undeveloped lands will align with the goals and objectives of previously approved statutory documents.

The 2013 amendments were completed to incorporate:



- Municipal Development Plan (MDP), approved in 2010;
- Community Sustainability Plan (CSP), approved in 2009;
- Growing Forward: The Capital Region Growth Plan, approved in 2010;
- Increased residential densities and demand for housing diversity;
- Incorporation of a small neighbourhood level service site; and
- Completion the gravel extraction area reclamation and development of the West River's Edge Recreation Area.

The 2003 amendments were completed to incorporate:

- The West River's Edge Recreation Area;
- Provisions for trail connections throughout the Plan area;
- Recognition of the Strathcona County Boundary Accord;
- Increased residential densities and housing types;
- Redistribution of land uses;
- Incorporation of neighbourhood level service use;
- Realignment of circulation patterns;
- A storm water management facility, and subsequent storm/sewer servicing requirements; and
- Elimination of a future Catholic junior high school site.

1.3 Scope of the Plan

The Plan provides for the orderly staged development of the Westpark community. The Plan specifies the intent for land use designations, residential density patterns, park and school dedications, major roadways and trail alignments, and utility requirements. Providing for residential and non-residential growth opportunities strengthens the municipality's residential, commercial, and recreational opportunities. Municipal requirements, approved statutory documents, input from landowners, consultation with school district representatives, and public consultation has been incorporated throughout the Plan.

The Land Use Concept map is schematic and intended to be flexible to permit well-thought-out neighbourhood design and diverse housing options. The Land Use Concept provides general locations for major land uses and transportation patterns. Precise locations, sizes, shapes, and land uses will be determined through subsequent detailed planning, including Outline Plans or Neighbourhood Structure Plans, redistricting applications, and subdivision applications.

1.4 Regional Context



Fort Saskatchewan is a vibrant economic and cultural hub located on the banks of the North Saskatchewan River. Home to more than 20,000 people the city boasts state of the art recreation, culture and historic amenities, including 50 km of outdoor trails, a performing arts theatre and fitness centre within the Dow Centennial Centre, and the 1875–1885 NWMP Fort representation in historic downtown. Strategically located within Alberta’s Industrial Heartland, Fort Saskatchewan is poised to experience significant residential and industrial growth in the coming years. Fort Saskatchewan is bordered by the City of Edmonton, Strathcona County, and Sturgeon County, and forms the majority of Priority Growth Area “G” in the Capital Region Growth Plan.

1.5 Report Format

This report has been divided into seven sections. Sections one through three provides background information into the preparation of the Plan. Sections four to six describe the Plan, and outlines objectives and policies based upon existing statutory plans, the previous Area Structure Plan, and public and stakeholder input. The implementation process is described in section seven.

Development estimates are included in **Appendix A**, and survey results are summarized in **Appendix B**, and amendments are listed in **Appendix C**.



2.0 INFLUENCING FACTORS

2.1 General

In preparation of the Plan, natural and manmade factors were considered to identify potential influences over development.

2.2 Location and Context

The Plan area is comprised of approximately 500 hectares (1200 acres) of land, located in the southwestern portion of Fort Saskatchewan (**Figure 1**). The Plan area is bound by the North Saskatchewan River to the north and west, Strathcona County rural land and the country residential subdivision Pointe-Aux-Pins to the south, and Highway 21 to the east. Across Highway 21 is Southfort, a developing residential neighbourhood.

2.3 Existing Land Uses

The Plan area has been developing since the late 1980s, with a combination of residential densities, and a small amount of commercial and institutional development. At the time of the 2013 updates, approximately 80% of the gross developable area was developed or zoned for development. Development had primarily occurred in the north portions of the Plan area. A small amount of commercial existed along the eastern border, adjacent to Highway 21.

At the time of the 2013 amendments, approximately 2627 parcels were zoned residential, according to the City of Fort Saskatchewan's Geographic Information Systems data. The following Table provides an estimate of how residential lots were divided among Land Use (Bylaw C6-08) districts at the time of the 2013 updates.

RESIDENTIAL LAND USE DISTRICTS		LOTS	%
RS1	Residential – Large Lot Single Detached	110	4.2
RS2	Residential – Medium Lot Single Detached	477	18.2
RS3	Residential – Small Lot Single Detached	1138	43.3
RS4	Residential – Small Lot Single Detached with Lane Access	28	1.1
RS5	Residential – Single/Semi-Detached Dwelling	134	5.1
RMC	Residential – Low Density Comprehensively Planned	92	3.5
RML	Residential – Low Density Multiple Dwelling	211	8.0
RMM	Residential – Medium Density Multiple Dwelling	104	4.0
RMH	Residential – High Density Multiple Dwelling	333	12.6
TOTAL		2627	100



The majority of the neighbourhood's commercial amenities are located adjacent to Highway 21, and include an 8.0 hectare (20 acre) shopping centre, a 2.9 hectare (7.2 acre) undeveloped vehicle oriented commercial site, and a convenience store site.

Including the West River's Edge Recreation Area, approximately 235 hectares (580 acres) of the Plan area is dedicated to park space, equaling approximately 48% of the Plan area.

Figure 2 demonstrates Land Use zoning patterns, at the time of the 2013 updates.



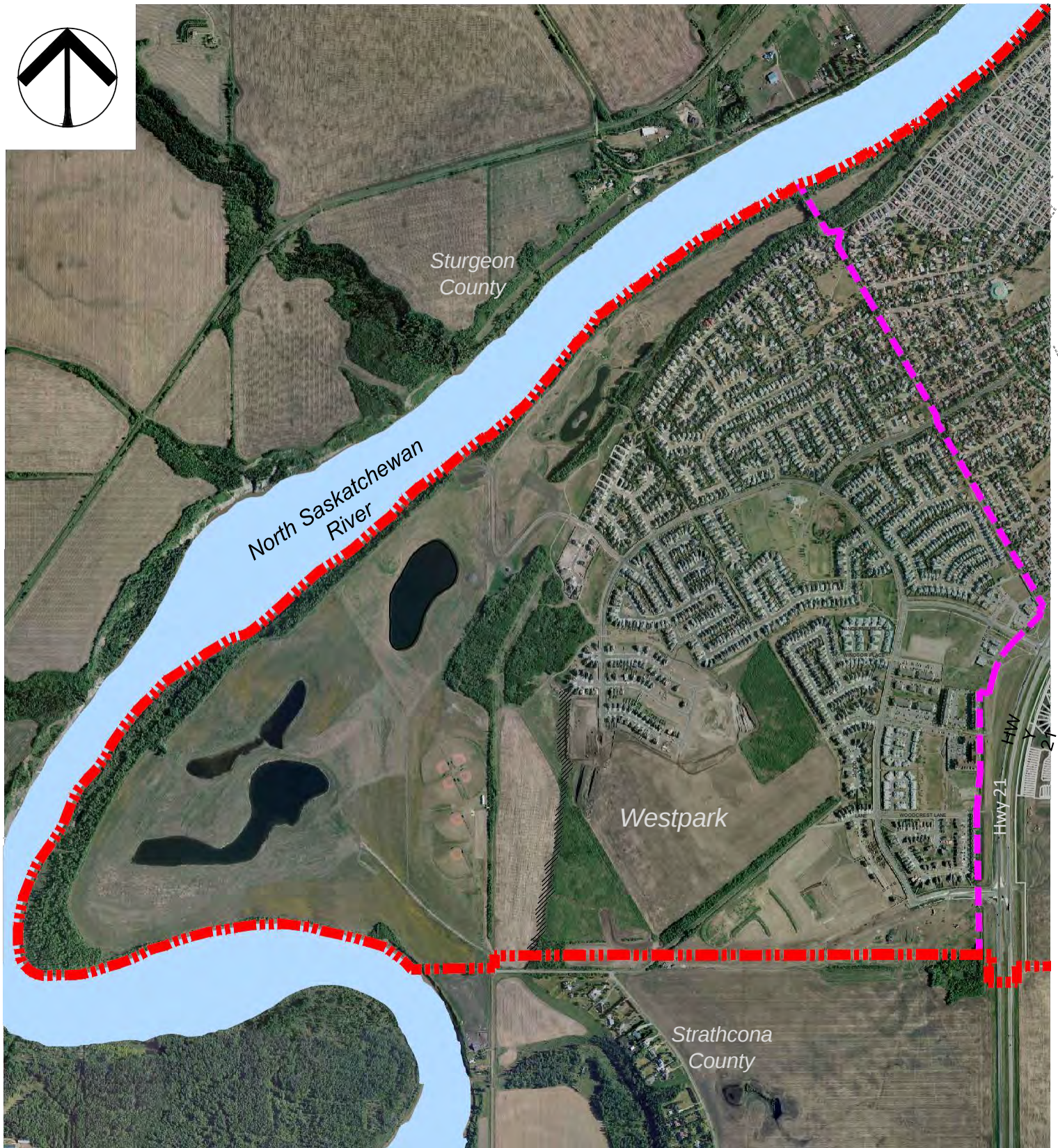
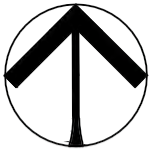


Figure 1.0 - Plan Area
City of Fort Saskatchewan

Westpark Area Structure Plan

- Plan Area
- Municipal Boundary



Note: All size, locations, and areas depicted are conceptual. Actual location & size will be determined through the outline plan and subdivision approval process. The number, size, and location of future school sites may change in response to student demographics. Building of new schools and other institutional uses is dependant upon provincial funding.

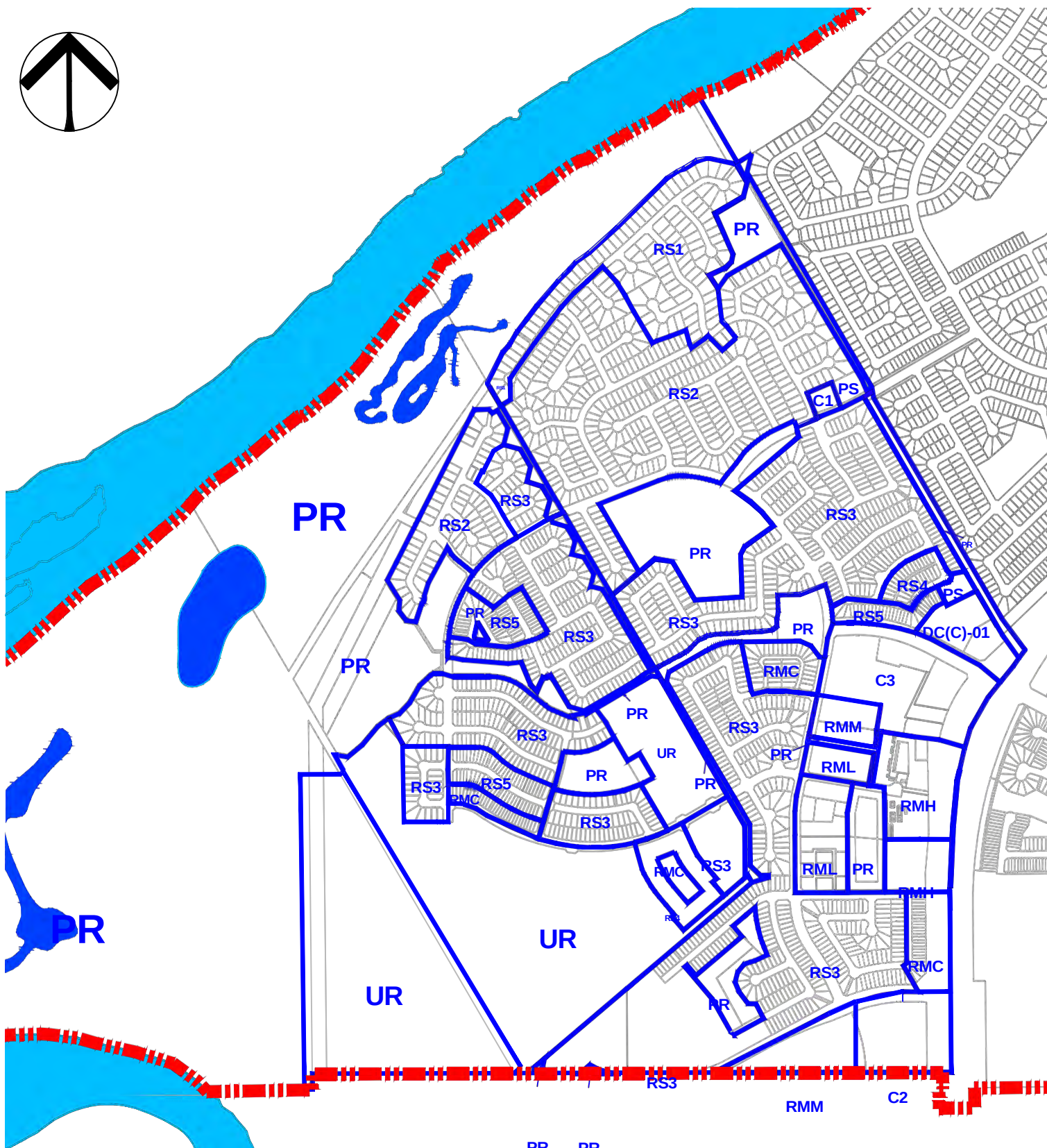


Figure 2.0 - Land Use Zoning

City of Fort Saskatchewan

Westpark Area Structure Plan

(Refer to the Land Use Bylaw for Zoning Information)

Note: All size, locations, and areas depicted are conceptual. Actual location & size will be determined through the outline plan and subdivision approval process. The number, size, and location of future school sites may change in response to student demographics. Building of new schools and other institutional uses is dependant upon provincial funding.

Municipal Boundary



May 2013

2.4 Vegetation

A grove of aspen and spruce is located in a hummocky dune in the northwest corner of River Lot 21. Research undertaken by the Fort Saskatchewan Naturalist Society identified this area as a rare, glacial outwash feature - one of the few intact deposits remaining in the region. This formation is representative of a nearly undisturbed Aspen Parkland ecosystem, and contains rare and significant vegetative species. The grove provides habitat for terrestrial birds, ungulates, and other wildlife. In 2008, the site was officially named the Fort Saskatchewan Prairie.

The site is owned by the City of Fort Saskatchewan, and protected from development under the Land Use Bylaw. Limited recreational opportunities, such as berry picking and hiking, can occur without damaging the grove. However, the area has been threatened by all-terrain vehicle use and other damaging activity. Efforts have been made to gate ATV access, but continued efforts are necessary to preserve this natural feature.

Mature tree stands also occur along the top of the valley and along the old Pointe-Aux-Pins road. Other treed areas within River Lots 19 and 21 and lands below the ridge have been cleared for development. If left, these previously wooded areas may regenerate, enhancing developments. Wherever possible, existing and regenerating tree stands should be preserved and incorporated into the community.

2.5 Soils

Soils within the Plan area have been evaluated using the Soil Survey of Edmonton map sheet 83-H (1962). Soils throughout the upland developable area are Chernozemic in order and are predominantly 60% Peace Hills Sandy Loam and 40% Penhold Loam with a transition to Malmo Silty Clay Loam toward the far southeast of the area and Penhold Loam in the developable lowland area. Soils within the river valley (West River's Edge Recreational Area) are predominately Regosolic Alluvium Sandy Loam transitioning to Chernozemic Penhold Loam and unclassified soil complex. The predominant soils within the developable area are described as orthic black soil developed on alluvial lacustrine and aeolian material. Detailed geotechnical evaluation will be required with development applications as soils are known to vary. The water table is known to vary throughout the area and from year to year. Soil conditions are not expected to have severe limitations on development.

2.6 Topography

The Plan area is characterized by level undulating to gently rolling topography, with elevation differences of approximately 10 metres (33 feet), sloping from east to west throughout the majority of the upland development area. The slope angle varies from the Fort Saskatchewan Prairie formation to the City's south boundary.



The north boundary area of River Lot 21 drops off sharply into the valley bottom (**Figure 3**). The area in the central western part of River Lot 21 has some additional hummocky terrain with natural vegetation noted in Section 2.4.

2.7 West River's Edge Recreation Area

The West River's Edge Recreation Area borders the north and west boundary of the Plan area, and is the City's largest open space and outdoor recreation area, comprising of 196 hectares (484 acres). The area, recognized as a part of the North Saskatchewan River Valley Recreation Corridor and as a Conservation Buffer in the Capital Region Growth Plan, shall be preserved as a naturalized day use activity centre. The West River's Edge Recreation Area contains a segment of the Trans Canada Trail, which is also recognized as a Recreation Corridor within the Growth Plan.

The 1996 agreement between Lafarge Canada Inc. and the City required reclamation of the gravel extraction area, which was initiated in 2010. The West River's Edge Development Master Plan, which was completed in 1997, guides development within the recreation area. The Master Plan sets out principles and guidelines for the development and conservation of the Plan area, including:

- Provision of a trail network;
- Protection and enhancement of the natural environment;
- Preference for a balance of compatible land uses;
- Development of outdoor recreation activity areas, with provision for an 18 hole golf course;
- Development of water based recreation;
- Inclusion of appropriate amenities such as benches, signage, lighting and trash collection; and
- Creation of a constructed wetlands stormwater management conservation area.

The City of Fort Saskatchewan continues to partner with the River Valley Alliance (RVA) in creating an integrated park system along the river valley across seven municipalities. The West River's Edge Pavilion, completed in 2012, creates a north anchor for the River Valley Alliance Capital Region trail network, and was a joint collaboration between the City of Fort Saskatchewan and the RVA. The RVA aims to protect, preserve and enhance the Capital Region's river valley park system for year-round accessibility and enjoyment.



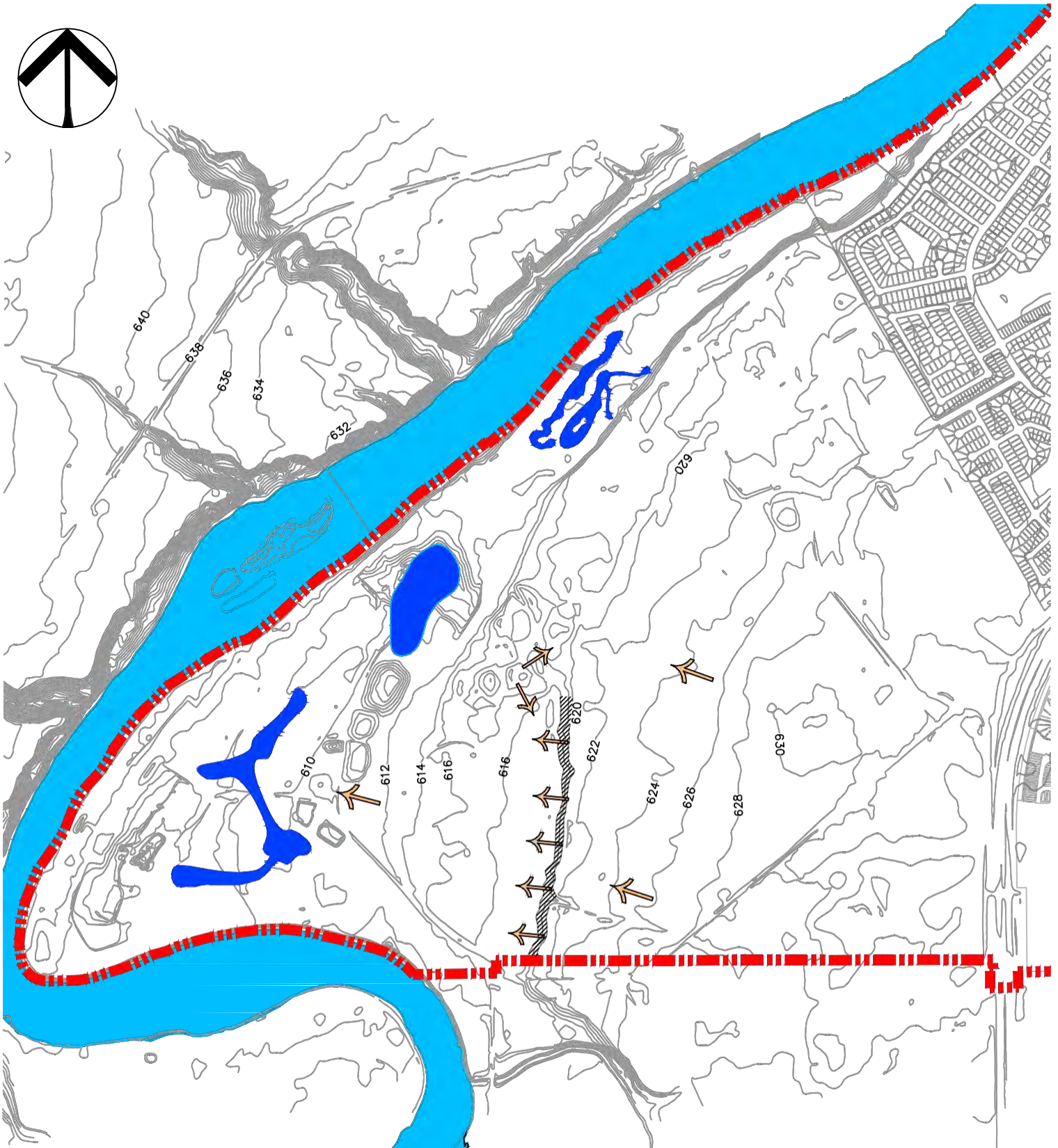


Figure 3.0 - Topography
City of Fort Saskatchewan
Westpark Area Structure Plan

- Plan Area
- Municipal Boundary
- Direction of slope



Note: All size, locations, and areas depicted are conceptual. Actual location & size will be determined through the outline plan and subdivision approval process. The number, size, and location of future school sites may change in response to student demographics. Building of new schools and other institutional uses is dependant upon provincial funding.

2.8 Public Consultation

To reflect Fort Saskatchewan vision, *Engaged People, Thriving Community*, the 2013 updates involved consultation with residents, developers, and various community stakeholders.

Westpark residents were invited to provide input through a survey that was distributed to every household. 276 residents completed the survey, the results of which are summarized in **Appendix B**. Feedback received was integrated throughout the Plan, including in the formation of policies.

As the implementers of the Plan, developers were invited to multiple round table discussions. Through the collaborative approach, concerns were identified early in the process, and solutions were integrated into the final Plan.

School board representatives were consulted to determine future school site needs and preferences early in the Plan preparation process. Other interested stakeholders, such as the River Valley Alliance, were also given the opportunity to comment on the Plan.

The following consultation events were hosted in preparation of the 2013 updates:

March 12, 2012 – Project initiation

May 1, 2012 – Round table consultation with Developers

July 5, 2012 – School board authorities' consultation

July 25, 2012 – Round table consultation with Developers

October 3 – October 31, 2012 – Surveys distributed to residents

November 23, 2012 – 1st Draft circulated

December 13, 2012 – Round table consultation with Developers

February 5, 2013 – 2nd Draft circulated to stakeholders, neighbouring municipalities/counties, and general public.

March 12, 2013 – Official Council direction received during Regular Council Meeting

June 11, 2013 – Public Hearing during Regular Council Meeting



3.0 POLICY CONTEXT

3.1 General

The 2013 updates ensured the Westpark Area Structure Plan aligns with the goals and priorities of existing regional and municipal statutory documents.

3.2 Municipal Development Plan

The City's Municipal Development Plan (MDP) was adopted September 14, 2010 as Bylaw C16-10. The MDP is a policy document that provides the framework for the physical development of Fort Saskatchewan until 2030.

The MDP establishes Fort Saskatchewan's vision as

The Fort: Engaged People, Thriving Community

Relevant MDP policies for the Westpark Neighbourhood include:

6.0 Land Use	
6.2 General Urban Area	
6.2.1	Reinforce the development of complete neighbourhood units by encouraging a range of dwelling unit types and densities, along with supporting services, in each residential neighbourhood within the City.
6.2.2	Within each neighbourhood encourage a mix of dwelling unit types, schools, places of worship, recreational opportunities, and neighbourhood commercial uses.
6.2.3	Ensure that all new commercial uses have an orientation towards the surrounding neighbourhood, with emphasis on access by pedestrians, cyclists, and transit. These uses should be of a size and scale that is consistent with the surrounding residential uses.
6.2.4	Encourage commercial and professional uses oriented towards local neighbourhood markets to locate within the General Urban Area.
6.4 Developing Community Area	
6.4.1	Encourage amendments to the Southfort and Westpark ASPs that support the Capital Region Board density targets for Fort Saskatchewan and that provide high quality residential neighbourhoods with a variety of housing types and access to numerous local amenities.
6.4.2	In support of the Capital Region Board density targets, intensify the Southfort and Westpark areas by increasing the proportion of multiple family residential developments, and by discouraging vehicle-oriented commercial developments.
6.4.5	Require that new greenfield development follows an efficient and logical pattern of phasing.
6.4.6	Discourage Land Use Bylaw amendments that would result in leapfrog development.
6.4.7	Reinforce the development of complete neighbourhood units by encouraging a



	range of dwelling unit types and densities, along with supporting services, in each residential neighbourhood within the Developing Community Area.
6.4.8	Review the Land Use Bylaw to ensure that new developments incorporate uses that contribute to neighbourhood completeness and diversity. Such uses may include a mix of dwelling unit types, schools, places of worship, recreational opportunities, and neighbourhood commercial uses.
6.4.9	Ensure that all new commercial uses have an orientation towards the surrounding neighbourhood, with emphasis on access by pedestrians, cyclists, and transit. These uses should be of a size and scale that is consistent with the surrounding residential uses.
6.4.10	Encourage commercial and professional uses oriented towards local neighbourhood markets to locate within the Developing Community Area, and consider residential and uses as part of these developments.
6.5 Residential Mixed Use Centre	
6.5.7	Consider additional areas for the Residential Mixed Use Centre designation as market demand warrants it.
6.6 Commercial	
6.6.1	Direct all highway commercial and vehicle-oriented commercial uses to those areas designated as Commercial.
6.6.2	Explore future infill opportunities to intensify low-density, vehicle-oriented commercial sites.
6.6.3	Discourage amendments to Area Structure Plans or the Land Use Bylaw to create new vehicle-oriented commercial uses outside of those areas included within the Commercial designation.
6.6.4	Encourage a high quality of building design in commercial areas, with buildings that are adaptable to different users over time.
6.6.5	Review the Land Use Bylaw to ensure that the appropriate range of commercial uses is available in each of the existing commercial Land Use Districts.
7.0 Community Design	
7.1 Urban Structure and Place Making Policies	
7.1.2	Provide public realm improvements such as street furniture, public art, street trees, and other landscape features in urban areas, with special attention given to the Downtown and Mixed Use Centres.
7.1.3	Through implementation of Area Structure Plans, encourage multiple connections to the existing street network and create a permeable network of internal streets.
7.1.4	Recognizing the role that streets and parks play as a key feature of the public realm, encourage building and housing development that face public streets and parks, rather than turning its back on the public realm.
7.1.7	In undeveloped portions of Westpark and Southfort, promote small block sizes, encouraging the development of 60 to 100 metre block widths in order to encourage walking and cycling.
7.1.8	In undeveloped portions of Westpark and Southfort, encourage the use of block shapes that can facilitate changes in future land uses
7.1.9	For new developments, ensure that site layout and building design considers microclimate and other physical conditions to create neighbourhoods that are sensitive to their site context and that reduce resource needs. Encourage the use of passive design strategies.
7.1.10	Develop guidelines to locate parking behind, under, above, or to the side of buildings where appropriate.



7.2 Sustainable Design Policies	
7.2.2	Explore opportunities to achieve LEED® for Neighbourhood Development standards on City redevelopment or private neighbourhood development projects.
7.2.3	Work with the development community to provide incentives for the development of buildings and developments that meet green building standards.
8.0 Mobility	
8.1 General Policies	
8.1.1	Promote active transportation and public transportation as a priority over motorized modes.
8.1.4	When undertaking transportation planning, ensure that streets are designed for all users, with adequate facilities for pedestrians, cyclists, and users of public transit, as well as consideration for the effective operation of Public Works and Emergency Services.
8.2 Pedestrian and Cyclists	
8.2.1	Ensure the delivery of pedestrian and bicycle facilities throughout the City as an integral part of the transportation system for both recreational and commuting use.
8.2.2	Plan for pedestrian and cyclist facilities as part of development and redevelopment proposals, ensuring the provision of adequate walking and cycling paths and lanes, and adequate cycle facilities such as secure storage, changing rooms, and showers where appropriate/feasible.
8.2.3	Continue to extend the multi-use trail network, including additional connections to the River Valley Greenbelt
8.3 Public Transportation	
8.3.1	Plan for public transportation as part of implementation of statutory plans, major development and redevelopment proposals.
8.4 Roadways	
8.4.1	Use the Transportation Master Plan as a reference to ensure that adequate rights-of way are preserved and incorporated into future development areas.
8.4.2	Limit vehicular accesses along Highways 15 and 21 to provide an expressway standard.
8.4.3	Ensure that Transportation Impact Studies are prepared to evaluate the impacts of major development on the safe and efficient movement of pedestrians, cyclists, public transit, and vehicles
8.4.4	Review road standards to ensure that all roads are pedestrian-friendly with features such as parking lanes, street trees, boulevards, and landscaping to enhance the quality of the pedestrian environment and to buffer pedestrians from motorized traffic.
8.4.5	Work to reduce pedestrian barriers and to increase opportunities for safe crossings of major roads and expressways.
9.0 Housing	
9.1 Diverse Housing Options	
9.1.1	Encourage a range of housing types within all areas of Fort Saskatchewan, with close access to neighbourhood services and amenities.
9.1.3	Increase the overall planned densities in the Southfort and Westpark ASP areas to bring these plans into conformance with the density targets for Fort Saskatchewan in the Capital Region Growth Plan.



9.1.6	Develop incentives to support higher density housing and affordable housing. Explore the options available for density bonusing and reduction of the Off-Site Levy fees for affordable housing.
9.2 Affordable Housing	
9.2.1	Implement the Affordable Housing Strategy to encourage the availability of affordable housing options through policies, regulations and incentives.
9.2.3	Achieve neighbourhood targets of 20% of new housing units to be developed as affordable or attainable housing.
9.3 Seniors' and Supportive Housing	
9.3.1	Support development opportunities that encourage aging in place. Such opportunities include the provision of smaller units throughout the City, and supportive housing.
9.3.2	Engage in partnerships to promote both market and non-market affordable housing to be developed for a variety of housing situations including seniors, people with special needs, and people experiencing transitional and emergency housing needs.
10.0 Parks and the Natural Environment	
10.1 General Policies	
10.1.1	Provide all neighbourhoods with access to passive and active recreational opportunities.
10.1.4	Explore the feasibility of relocating the Dow Centennial Ball Fields.
10.1.6	Investigate opportunities to utilize conservation tools (i.e., transfer of development credits, conservation easements, and land trusts) made available through the Provincial Land Use Strategy and other provincial policies to develop and enhance the open space and trails network.
10.2 Municipal, School and Environmental Reserves	
10.2.1	Require municipal and school reserves dedication equal to 10% of the land remaining after any environmental reserve has been dedicated as part of a new subdivision process as per Sections 666-670 of the MGA, as amended. Reserve lands should be the primary option with cash-in lieu taken only when land would not integrate with the Recreation, Culture and Parks Master Plan's Pathway and Parks Network Plan.
10.2.2	Require environmental reserve dedication as per Section 664 of the MGA, as amended. Environmental reserve lands shall remain as natural areas or may be used for trails as long as a trail will not unduly impact the natural environment.
10.2.3	Require that environmental reserve, municipal and school reserves be identified through the ASP and ARP processes, to the satisfaction of the Municipality.
10.2.5	Collaboration with the school authorities should occur to identify the necessary requirements and locations for parks and school grounds.
10.2.6	Encourage joint use of municipal reserve lands for recreational, park and school purposes.
10.3 Waterbodies	
10.3.1	No development shall occur within the 1:100 year flood fringe area of the North Saskatchewan River, Ross Creek or other waterbodies or natural features, with the exception of permitted and discretionary used listed in the PR – Parks and Recreation Land Use District, in accordance with the Land Use Bylaw, as amended.
10.3.2	Preserve the river valley as open space, recreation areas, and wildlife habitat for the enjoyment of the whole community. Only development for the purposes of conservation, recreation and utility servicing shall be allowed within the river



	valley. Native vegetation along the river and creek lands should be preserved.
10.3.5	Explore and implement additional opportunities for public access to the North Saskatchewan River.
10.3.6	New development near steep slopes shall be setback from the Top of Bank in accordance with the Land Use Bylaw, as amended.
10.3.7	Design of subdivisions shall incorporate natural water courses and waterbodies as community amenities and critical elements of the ecosystem function.
10.4 Pathways and Trails	
10.4.1	Facilitate the continued development of community and regional trail systems that provide connectivity for both leisure and commuting purposes.
10.5 Maintenance	
10.5.2	Consider naturalization and xeriscaping for parks, where possible, to reduce water, energy and labour requirements.
11.0 Infrastructure and Resource Management	
11.1 General Policies	
11.1.1	Ensure that infrastructure capacity constraints, including water, wastewater, and stormwater, are considered as part of the review process for development projects.
11.2 Water	
11.2.2	Employ landscape standards to require the provision of drought resistant landscaping as part of any new developments.
11.2.3	Preserve downstream watershed quality by monitoring the quality of storm and creek waters that feed into the North Saskatchewan River from the City, and by minimizing the impacts of development on the overall watershed.
11.3 Sanitary Sewer	
11.3.2	Discourage the use of new private sewage disposal systems.
11.3.4	Complete the necessary system modeling and analysis to ensure the increased residential density in Developing areas can be economically supported by current design.
11.4 Stormwater Management	
11.4.1	Review development regulations to encourage the use of low impact development techniques for stormwater.
11.4.2	Maximize retention of stormwater or require enhancement to natural wetlands where possible to ensure a high quality of stormwater effluent.
11.4.3	Minimize effective impervious area for all new development to reduce development related stormwater run-off.
11.5 Energy	
11.5.2	Explore opportunities to provide local renewable, low emission energy sources such as solar or wind.
12.0 Sense of Community	
12.1 General Policies	
12.1.1	Promote land use patterns and mobility connections that foster community interactions.
12.3 Youth	
12.3.3	Encourage the creation of childcare facilities within neighbourhoods.
12.4 Safety	
12.4.2	Endorse Crime Prevention Through Environmental Design (CPTED) principles for city design with the exception of areas dedicated to wildlife habitat.
12.5 Recreation and Culture	



12.5.4	Integrate culture and the arts into public space planning and design.
12.5.5	Support the local arts community by involving local artists in beautification, revitalization and public space projects.
13.0 Responsive Local Economy	
13.3 Economic Diversification	
13.3.1	Support economic diversification by ensuring there are sufficient commercial and industrial lands available to suit a variety of business opportunities.
13.3.3	Collaborate with local business associations and industry to support the continued development of existing businesses and attract new businesses and industries to meet the needs of the local population.
15.0 Public Engagement and Communication	
15.1 General Policies	
15.1.5	Establish standards regarding the type and quality of public engagement for all development proposals. Ensure that all development applications meet the public engagement standards before being considered for approvals.
15.1.6	Require municipal initiatives and development proposal applications to communicate how the proposal contributes to the Community Sustainability Plan's vision and goals.
16.0 Implementation and Monitoring	
16.1 Conformity	
16.1.1	All statutory plans and documents, including revisions, shall conform to the MDP. The City shall review all existing statutory and non-statutory plans to ensure that they are consistent and where necessary, prepare amendments.
16.1.2	Subdivision and development plans shall conform to this Plan, applicable statutory plans, and the Land Use Bylaw.
16.3 Implementation	
16.3.2	Conduct a comprehensive review and update the Off-Site Levy Bylaw at minimum every five years.

3.3 Community Sustainability Plan

The Community Sustainability Plan (CSP) was adopted December 8, 2009 by Resolution R241-09. The CSP provides a high level strategic plan to guide community decision-making towards a sustainable future. The CSP was developed in tandem with the MDP. Combined, these two plans are the highest level of municipal strategies adopted by Council.

The CSP adopts the Brundtland Commission's definition of sustainability:

"Sustainable development is development that meets the needs of the present without compromising the ability of future generations to meet their own needs."

Seven Sustainability Principles were adopted to reflect Fort Saskatchewan values. The City holds the responsibility to apply all of the principles to each community decision.

Principle A: A Welcoming Community



- Principle B: A Community with Spirit
- Principle C: Stewardship of the Environment
- Principle D: Using our Resources Wisely
- Principle E: A Responsive Economy
- Principle F: A Complete Community
- Principle G: A Community Designed for People

3.4 Land Use Bylaw

The Westpark Area Structure Plan will guide development regulations required under the Land Use Bylaw (LUB). Prior to subdivision, specific land use districts must be approved by Council in accordance with the intent of this Plan. If an application does not conform to the LUB, Council may consider a Direct Control (DC) zoning for the site.

3.5 City of Fort Saskatchewan - Strathcona County Boundary Accord

In January 2002, the Boundary Accord between the City of Fort Saskatchewan and Strathcona County was signed, providing for the transfer of 265 hectares (654 acres) of land from Strathcona County to the City of Fort Saskatchewan (**Figure 4**). Approximately 78 hectares (192 acres) or 30% of the annexed area was added to the Westpark community.

Among other things, the Accord provided for:

- A Boundary Road to be provided and built by the City connecting Westpark Drive with the Pointe-Aux-Pins subdivision immediately adjacent to the Westpark's southern boundary;
- A 40 metre (131 feet) wide strip of land to be acquired from the land owner by the City and provided to Strathcona County as road right-of-way; and
- Township Road 543 from the Pointe-Aux-Pins subdivision to West River's Edge to be maintained, and if warranted by increased traffic, upgraded by Strathcona County.

The Boundary Accord allowed both Fort Saskatchewan and Strathcona County to plan for development of their respective lands.



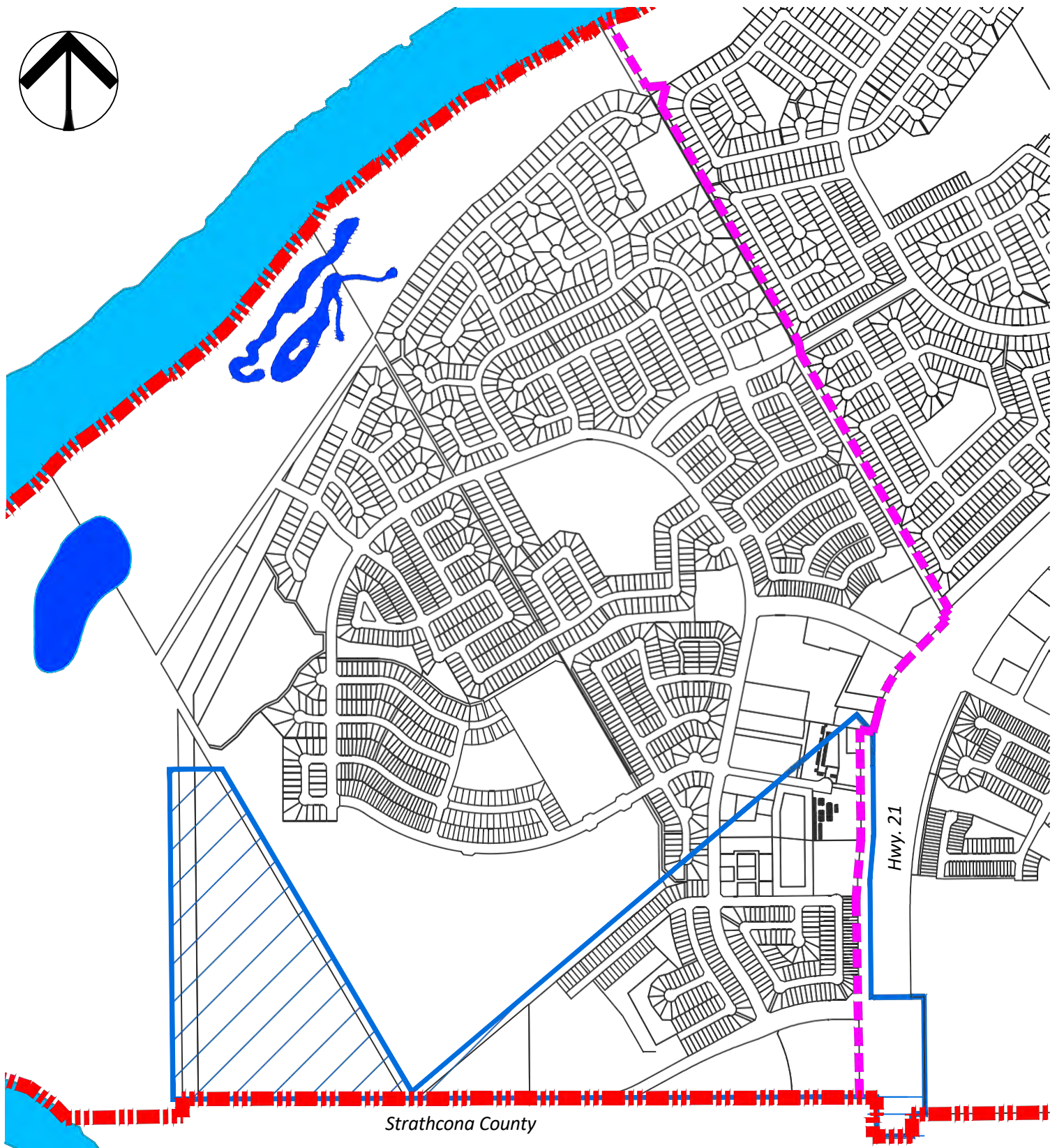


Figure 4.0 - 2002 Annexation Area

City of Fort Saskatchewan

Westpark Area Structure Plan

- Plan Area
- City Boundary
- Annexed Area



Note: All size, locations, and areas depicted are conceptual. Actual location & size will be determined through the outline plan and subdivision approval process. The number, size, and location of future school sites may change in response to student demographics. Building of new schools and other institutional uses is dependant upon provincial funding.

March 2013

3.6 Growing Forward: The Capital Region Growth Plan

Growing Forward: The Capital Region Growth Plan was approved by the Government of Alberta in 2010. The Growth Plan includes a Land Use Plan component, based on sound planning principles. The Capital Region Land Use Plan's primary purpose is to manage sustainable growth that protects the Region's environment and resources, minimizes the regional development footprint, strengthen communities, increases transportation choice, and supports economic development.

The Growth Plan identifies Priority Growth Areas for the Capital Region, and establishes subsequent density targets. The majority of Priority Growth Area "G" encompasses Fort Saskatchewan, and establishes the density target at 25-30 dwelling units per net developable residential hectare.

The following Table provides an estimate of existing densities in Westpark neighbourhoods, based upon endorsed subdivision plans at the time of the 2013 updates.

Existing Subdivision	Dwelling Units (du)	Net Developable Residential Hectares (ndrha)	Density (du/ndrha)
Westpark Estates	515	38.04	13.54
Westwood Trails	1159	37.34	31.04
Valley Pointe	100	7.05	14.18
Forest Ridge	531	23.23	22.86
Windsor	244	10.36	23.55
TOTAL	2549	116.02	21.97
<i>Total Excluding Westpark Estates & Valley Pointe</i>	<i>1934</i>	<i>70.93</i>	<i>27.27</i>

Westpark has been developing since the late 1980s. A large portion of existing development was approved for subdivision prior to approval of the Capital Region Growth Plan, including Westpark Estates and Valley Point which are large lot subdivisions. If these neighbourhoods are excluded from the calculation, Westpark's density averages to 27.27 du/ndrha. As the remainder of Westpark develops, the City will continue to ensure development incorporates a variety of housing products while monitoring density patterns to ensure we are working towards achieving the objectives of the Growth Plan.

The Capital Region Growth Plan also publishes population forecasts by municipality and PGA within the Capital Region. It forecasts Fort Saskatchewan to have a population of 21,409 by 2014 and 38,840 by its 35-year horizon of 2044. As presented in **Appendix A**, the populations of Fort Saskatchewan and Westpark are 20,475 and 5800 respectively (2012 Municipal Census). Based on recent



growth rates, it is anticipated that the City's forthcoming 2013 municipal census will reveal that the City's growth is outpacing the Growth Plan's forecast by a year – reaching its 2014 forecast in 2013. At the time of the 2013 Updates, the Capital Region Board was nearing completion of an update to their population forecasts.



4.0 OBJECTIVES AND POLICIES

4.1 Overall

The overall goal of the Plan is to create a sustainable community that accommodates residential, commercial, and institutional development opportunities, while conserving and optimizing the natural environment.

The 2013 Updates were completed to incorporate existing statutory documents, including the Municipal Development Plan, the Community Sustainability Plan, and the Capital Region Growth Plan. The 2013 Updates did not introduce new land supply within Westpark, but rather redistributed and refined future land uses within previously planned undeveloped land.

Public input was highly valued throughout the 2013 updates. Some comments received from residents were used to develop policies, which can be identified by the graphic:

PUBLIC INPUT

The City of Fort Saskatchewan is committed to the Municipal Development Plan. Some policies incorporated into the Plan are based upon MDP direction, which can be identified by the graphic:

MDP

The following describes the objectives and policies for development in Westpark. Development within Westpark shall follow the objectives and policies outlined in this document.

4.1.1 Overall Objectives

- To provide a safe community for people to live, work, and play.
- To provide a consistent vision for landowners and developers to help increase certainty in investment.
- To create a flexible planning concept in order to stimulate innovative planning and design that is adaptable to area analysis and consumer preferences.
- To allow for sustainable and economical phased development consistent with municipal and regional policies.
- To conserve and optimize the use of land and resources through sensitive integration of development with the natural environment.



- To encourage efficiency wherever possible through strategically planned traffic networks, amenity provisions, and site orientation.
- To consider providing a range of commercial opportunities throughout the community, giving consideration to accessibility, convenience, and potential impact on adjacent residential areas.

4.1.2 Overall Policies

- Prior to acceptance of redistricting applications, an Outline Plan or Neighbourhood Structure Plan and an Engineering Design Brief for the parcel in its entirety shall be provided by the developer, to demonstrate how the proposed development will integrate with adjacent development and align with the objectives and policies of this Area Structure Plan.
- When determined necessary, the City shall host design forums prior to accepting redistricting and subdivision applications to facilitate a round table discussions between various City Departments and the developer. The developer shall demonstrate how the proposed development will achieve the planning and operations goals of the City.

MDP

- Development phasing shall be determined by the efficient and logical extension of services that prevents “leapfrog” development.

PUBLIC INPUT

- Neighbourhood character and quality shall be enhanced through public realm improvement such as boulevards, entrance features, street furniture, public art, and other landscape features.
- Site orientation and landscape design for residential, commercial, and institutional development shall consider strategies to conserve energy and water.

MDP

- With the exception of areas dedicated to wildlife habitat, natural surveillance through approaches such as Crime Prevention Through Environmental Design (CPTED) shall be considered for all site and building design.
- Adequate buffering or transitional land uses shall be provided between conflicting land uses. The Urban Forest Corridor Initiative along Highway 21 and other major arterials shall be continued as a means to reduce land use conflict.
- Temporary or interim uses in undeveloped areas that limit future intended uses or impact existing adjacent uses shall not be permitted.
- Residential densities are implemented at the subdivision stage.



4.2 Residential

The majority of the land in the Plan area outside of the river valley is proposed for residential use. The Plan encourages a variety of housing forms, including single detached, semi-detached, multi-attached (townhouses), and apartment dwellings. At full build out, Westpark could potentially include approximately 3800 – 4100 dwelling units, and potentially house approximately 10,500 – 11,200 residents.

The undeveloped portions of Westpark are expected to achieve an average density of 25-30 dwelling units per net developable residential hectare (du/ndrha), in line with the Capital Region Board density targets. Low density residential, as identified in the Land Use Concept Map, shall include single detached, semi-detached, duplexes, and multi-attached (townhouses), and shall not exceed a density of 35 du/ndrha. Medium density shall include multi-attached, and apartment buildings up to 4 stories, and shall achieve a density between 36-70 du/ndrha. High density developments shall include apartment buildings, and shall achieve a density over 70 du/ndrha.

The Land Use Concept map identifies general locations for low, medium, and high density development. The final location and all density classifications shall be determined through subsequent Outline Plans and Neighbourhood Structure Plans. Subdivision plans should include the integration of different housing forms and lot widths within blocks. The variety of land uses and development opportunities within Fort Saskatchewan helps to support inclusivity, market affordability and continued growth.

An area located on the east side of Westpark Drive, within the Forest Ridge Neighbourhood, may be developed with a flexible mix of Low and Medium Density Residential. Accordingly, this area shall be developed with a range of attached and detached housing types on laned and front-drive lots. Multi-attached housing will be developed solely where lane access is provided.

Based upon survey responses, the majority of Westpark residents prefer a streetscape similar to the Erin Ridge neighbourhood in St. Albert, as shown in **Appendix B**. Architectural diversity and ample landscaping helps to create this design, and should be integrated throughout Westpark.

4.2.1 Objectives

- To foster quality residential development in Westpark and provide for long term residential growth.
- To create an attractive and complete community that is designed for people to live, work, and play.



- To ensure a variety of housing forms are incorporated throughout the community to accommodate all members of the community and support market affordability.
- To integrate a mix of uses throughout the community to improve pedestrian accessibility.
- To achieve density target assigned by the Capital Region Growth Plan within undeveloped portions of Westpark.

4.2.2 Policies

PUBLIC INPUT

- Provide a variety of lot sizes and housing forms to provide choice and accommodate all residents in the community.

MDP

- Urban design shall be used to create a cohesive neighbourhood with a variety of architectural styles that encourages interaction with the public realm by orienting buildings towards public streets and parks.
- The overall targeted density for undeveloped lands at the time of the 2013 Updates shall be 25-30 dwelling units per net developable residential hectare (du/ndrha), in line with the Municipal Development Plan and the density targets for PGA "G" as established in the Capital Region Growth Plan.
- In support of the City's Market Affordable Housing Strategy, consider strategies to provide market affordable housing options and supportive housing units.
- The City may consider entering a Pilot Project to grant variances to a group of residential lots in a greenfield development in exchange for innovative neighbourhood design and diverse housing options. Notification of the proposed Pilot Project shall be circulated to adjacent property owners with an opportunity for residents to comment, which will be taken into consideration before entering an agreement.
- Development on or near the slope area in the NW part of River Lot 21 and the central part of the SW 24-54-23 W4M will be subject to satisfactory soil stability analysis.
- Outline Plans and Neighbourhood Structure Plans shall identify the proposed location and extent of non-conventional development types such as reduced or zero setback developments to ensure its seamless integration with the surrounding development and appropriate housing mix in the neighbourhood to the satisfaction of Administration.



- Low density residential subdivisions shall not exceed 35 du/nrha to ensure consistency and compatibility between current development practices and previously planned and executed developments.
- Administration shall evaluate new residential development types and forms in terms of their impact on and compatibility with existing and proposed surrounding housing development. If determined necessary, the City shall consider additional location criteria, regulations, or amendments, to ameliorate any potential land use implications or to ensure specific planning policy goals are upheld.
- Residential uses, housing typologies, development patterns, and subdivision designs that run counter to or have impacts to the detriment of specific policy goals within this plan or the Municipal Development Plan shall not be supported.
- A flexible mixture of Low and Medium Density Residential, including street-oriented attached housing, is encouraged within the areas identified in the Land Use Concept Map. Street-oriented attached housing within this area shall not exceed the density of 70 du/nrha.

4.3 Commercial

The Land Use Concept identifies multiple locations for commercial opportunities. The majority of the community's commercial amenities are adjacent to Highway 15/21, but a smaller neighbourhood service use is proposed in future development.

Commercial sites vary in size, zoning, and location, providing a variety of opportunities for uses and services. The strategic locations of the commercial sites aims to provide high visibility for larger commercial uses, while still providing opportunities for residents to access their daily needs without depending upon an automobile.

Based upon survey responses, the majority of Westpark residents prefer a small neighbourhood commercial node within their neighbourhood, similar to the commercial site located at Westpark Boulevard and Highway 21, as shown in **Appendix B**. 26% of survey respondents said they walk or bike to shopping amenities.

4.3.1 Objectives

- To integrate employment areas and neighbourhood level service opportunities into the residential areas to support a live, work, play lifestyle while improving pedestrian accessibility.



- To continue to support development of existing highway commercial lands to provide employment opportunities and to serve the needs of the community and the region.

4.3.2 Policies

PUBLIC INPUT

- Consider development of complete neighbourhoods with a range of neighbourhood level services throughout Westpark.
- Continue to support local neighbourhood level commercial.
- Proposed commercial uses in residential neighbourhoods shall mitigate potential visual, aesthetic, noise, and other impacts. Urban design shall be used to create cohesive commercial nodes with a complementing architectural standard.

MDP

- Integrate passive design strategies into site layout and building design to reduce energy and water usage.
- Ensure neighbourhood services consider complementary interaction with common spaces and surrounding residential uses.

MDP

- Consider locating parking lots behind, under, above or to the side of buildings wherever possible. Landscaping and paving shall be in accordance with the Land Use Bylaw, and loading areas shall be screened from public view.

MDP

- Vehicle oriented commercial uses shall be located near the entrances to Westpark from Highway 21 to enhance visibility and minimize impacts. Direct future additional vehicle-oriented commercial to existing designated areas before considering amendments to create additional designated areas.
- A neighbourhood service level node shall be located in the south medium density site along Westpark Drive. Depending upon market conditions, the developer may wish to engage in a Pilot Project with the City to create a node specifically designed for home based businesses.

4.4 Institutional

Institutional uses within Westpark provide opportunities for education, recreation, employment, health, and leisure. At the time of the 2013 updates, approximately 2500 students were enrolled in the seven educational facilities throughout Fort Saskatchewan. The Elk Island School Board estimated by 2022, approximately 3500 students will be enrolled in Fort Saskatchewan educational facilities. Among all forms of educational programming, including Christian schools, French immersion,



outreach schools, and self-contained special education, the maximum official capacity is 3045 students. The elementary schools are expected to be the first form of educational programming to reach capacity.

The Land Use Concept for Westpark incorporates two potential future school sites. Between the two sites, the total land dedicated for schools is approximately 8.0-10.5ha (20.5-26.0ac), equating to approximately 28-37% of the total Municipal Reserve dedication for Westpark.

The Pryce Alderson Park within the Westwood Trails neighbourhood is proposed for a Public elementary/junior high school. The site was dedicated to the City in 2000, and currently includes the Kin Family Spray Park. A second school site within the Forest Ridge neighbourhood is proposed for a Catholic elementary/junior high school. Both sites are centrally located, connect to the pedestrian trails system, and are located on a collector roadway.

In addition to the schools, a church site exists in the northern portion of the Plan area, along 95A Avenue. Additional institutional uses may be required in the Plan area, and will be identified through subsequent Outline Plans or Neighbourhood Structure Plans, redistricting applications, and subdivision plans.

17% of survey respondents said they currently walk or bike to school.

4.4.1 Objectives

- To identify ideal locations for future school sites that best utilize Municipal Reserve dedications while meeting the School Boards' needs.
- To integrate schools and community facilities into the neighbourhood and open space system, while encouraging multiple uses of sites.
- To ensure school sites and community facilities are located in a manner that can be supported by higher density residential developments and maintain pedestrian and vehicular connectivity.

4.4.2 Policies

MDP

- Support development of complete neighbourhoods by incorporating community uses such as schools, places of worship, and recreational opportunities.

MDP

- Support joint use of Municipal Reserve lands for recreational, park and school purposes.
- School sites shall be centrally located and connected to the pathway systems to



improve pedestrian accessibility.

- Vehicular access to school sites shall be from a collector roadway. Preferred sites will be accessible from two collectors to provide sufficient distance between separate accesses and allow for dedicated bus bays.

MDP

- Consider locating parking lots behind, under, above or to the side of buildings wherever possible.
- Continue to support and partner with community organizations to provide community assets.
- Reserve approximately 5.5-6.5 ha (13.5-16ac) of Pryce Alderson Park for a future public elementary and junior high school.
- Reserve approximately 2.5-4 hectares (7-10 ac) for an elementary school site in the Forest Ridge subdivision.

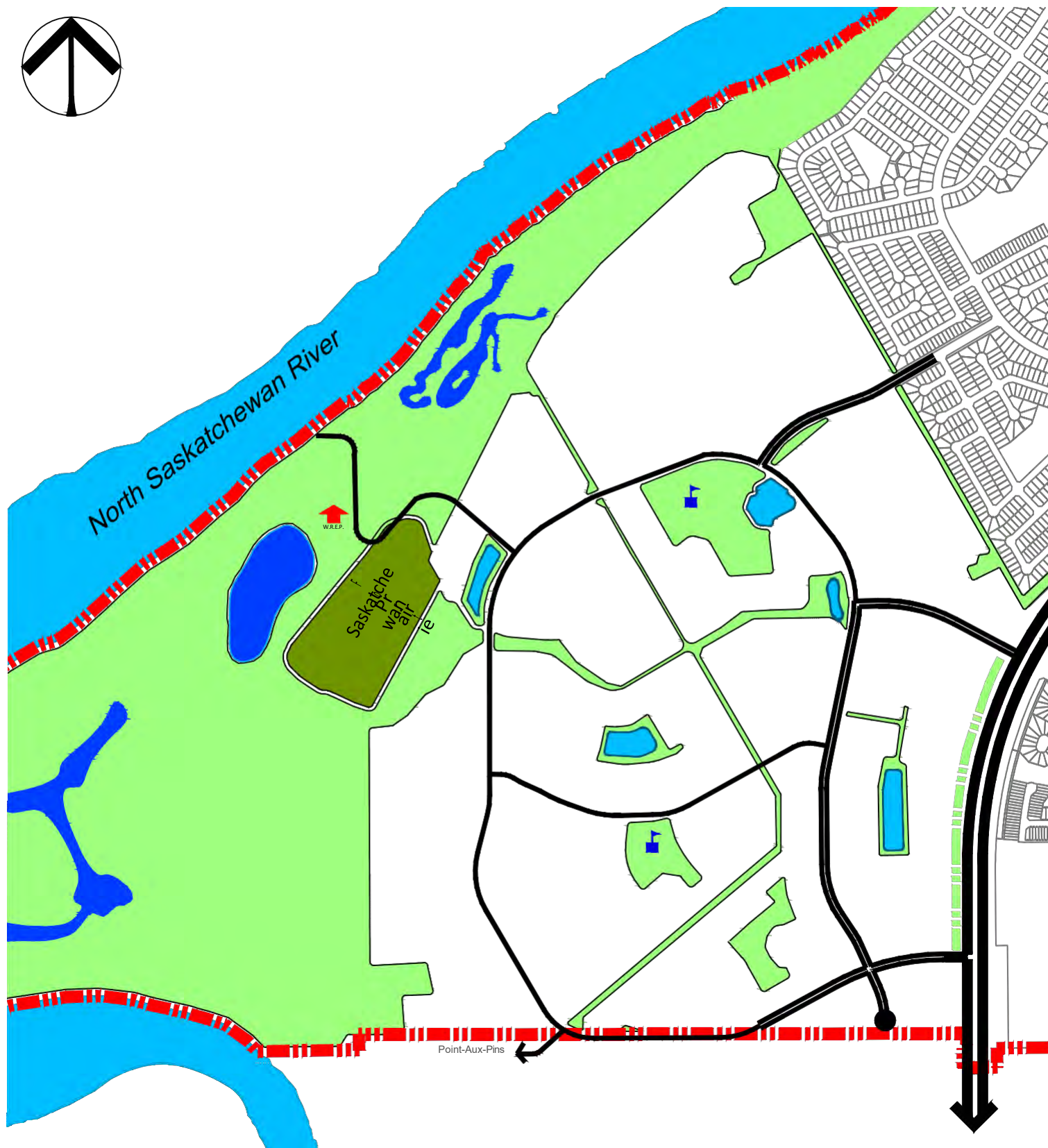
4-5 Green Space

Westpark offers neighbourhood, community, and regional parks with opportunities for passive and active recreation for all Fort Saskatchewan residents. Fort Saskatchewan's multi-use trail network provides over 50km for year-round activity, including walking, inline skating, biking, and cross country skiing.

In addition, neighbourhood parks have been strategically located throughout the Plan area, allowing all residents to be located within close proximity to a neighborhood park or school site (**Figure 5**). All of the neighborhood parks and open spaces are connected by an extensive greenway trail and walkway system that also provides linkages to proposed school sites.

Westpark borders the West River's Edge Recreation Area, which is Fort Saskatchewan's largest open space area. The West River's Edge Recreation Area includes over 196 hectares (484 acres) of protected space. The area includes the Red Coat Landing boat launch, a trout pond, and the West River's Edge Pavilion.



 Municipal Boundary

- Freeway
Arterial
Collector

Freeway
Arterial
Collector



May 2013

In the northwest corner of River Lot 21 is a stand of trees in a hummocky dune, known as the Fort Saskatchewan Prairies. The Fort Saskatchewan Naturalist Society identified this area as a rare glacial outwash. The hummocky terrain, steep slope, presence of significant flora and fauna, and power line right-of-way make this treed area unsuitable for development, but ideal for interpretive opportunities. This area shall continue to be protected as a natural reserve.

Based upon survey responses, the majority of Westpark residents felt manicured parks and gathering spaces were missing from their neighbourhood, as shown in **Appendix B**. 67% of survey respondents said they use the walking paths a couple times a week, primarily for recreation. 78% of survey respondents said they use the paths to access parks.

4.5.1 Objectives

- To protect the natural environment, including the North Saskatchewan River Valley.
- To provide open space and trail connections within Westpark and to other areas of Fort Saskatchewan in accordance with the Recreation, Culture, and Parks Master Plan
- To best utilize Municipal Reserve dedications to provide passive and active recreational opportunities that benefits Fort Saskatchewan residents.

4.5.2 Policies

- Protect the natural environment and native vegetation, including West River's Edge Area and the Fort Saskatchewan Prairie, and other mature or regenerating tree stands from any damaging activities.

MDP

- Consider landscaping with natural vegetation (xeriscaping) for parks to reduce water, energy and labour requirements.

MDP

- Provide neighbourhoods with access to passive and active recreational opportunities.
- Ensure all parks and open spaces, schools and recreational sites are connected through trails/or and walkways. Facilitate continued development of community and regional trail systems that provide connectivity for both leisure and commuting purposes.
- Trails and Public Utility Lots shall be minimum 6 metres width to facilitate access for emergency and maintenance vehicles.



- Opportunities for trail connections from Westpark to other Fort Saskatchewan neighbourhoods shall be provided through pedestrian crosswalks at arterial and collector road intersections.

MDP

- Developers shall provide Municipal Reserve land dedication equal to 10% of gross developable area. Cash-in-lieu will only be accepted when land would not integrate with the Recreation, Culture and Parks Master Plan's Pathway and Parks Network Plan.
- Park space, school sites, and trails over 6 metres in width shall be accepted as Municipal Reserve when consistent with the Municipal Development Plan, unless accommodating buried utilities or storm water management ponds.
- Continue to work with community and regional organizations to provide low impact recreational opportunities that increase awareness of the river valley's value.

PUBLIC INPUT

- Work with community leaders to develop neighbourhood assets, such as community gardens and outdoor rinks, if determined feasible.
- Wherever possible, existing tree stands and wetlands should be preserved and incorporated into the community.



5.0 SERVICING AND UTILITIES

5.1 General

Servicing of the Plan area must meet the Engineering Standards and requirements of the City of Fort Saskatchewan. Development phasing will depend upon the efficient and logical extension of services, while accommodating future growth. Wherever possible, existing infrastructure will be utilized before extending utilities. Periodic review of water, sewer, and storm models should be undertaken as development progresses to determine if any adjustments to the servicing plans are required. Environmental and economical sustainability shall be a priority for all servicing provisions.

5.2 Water Supply and Distribution

The water distribution system for the Plan area is shown in **Figure 6**. The system is connected to the Westpark Reservoir by a 400mm diameter main and to the surrounding network by a 300mm diameter main following 95A Avenue and a 150mm diameter main through the greenbelt between Riverpark Drive and 79 Street. The overall area is served by a 300mm diameter main following Westpark Drive from Wilshire Boulevard to River Valley Drive. The internal system is comprised of looped mains of varying diameter (typically 200mm).

The water distribution system is designed to ensure sufficient and reliable flow and pressure throughout the Plan area. The Water Distribution Master Plan and the City's Engineering Standards guide future development of the system. Outline Plans and Neighbourhood Structure Plans will include hydraulic modeling to determine appropriate sizing and looping of mains within the internal network.

The 300mm diameter core distribution main will be looped from the southeast through the Windsor area to the northwest through the Forest Ridge area, as well as internally between the Forest Ridge and Westwood Trails areas. Where possible, the 300mm diameter looping main should be an integral part of the internal network and provide direct service to lots in order to reduce redundant piping.

At the time of the 2013 updates, the Westpark Reservoir was nearing capacity, and expansion will be required when the City's population exceeds 22,000. An additional connection from the Capital Region Northeast Water Services Commission (CRNWSC) supply line, located within Southfort to the east, to the reservoir will also be required in consultation with the CRNWSC.



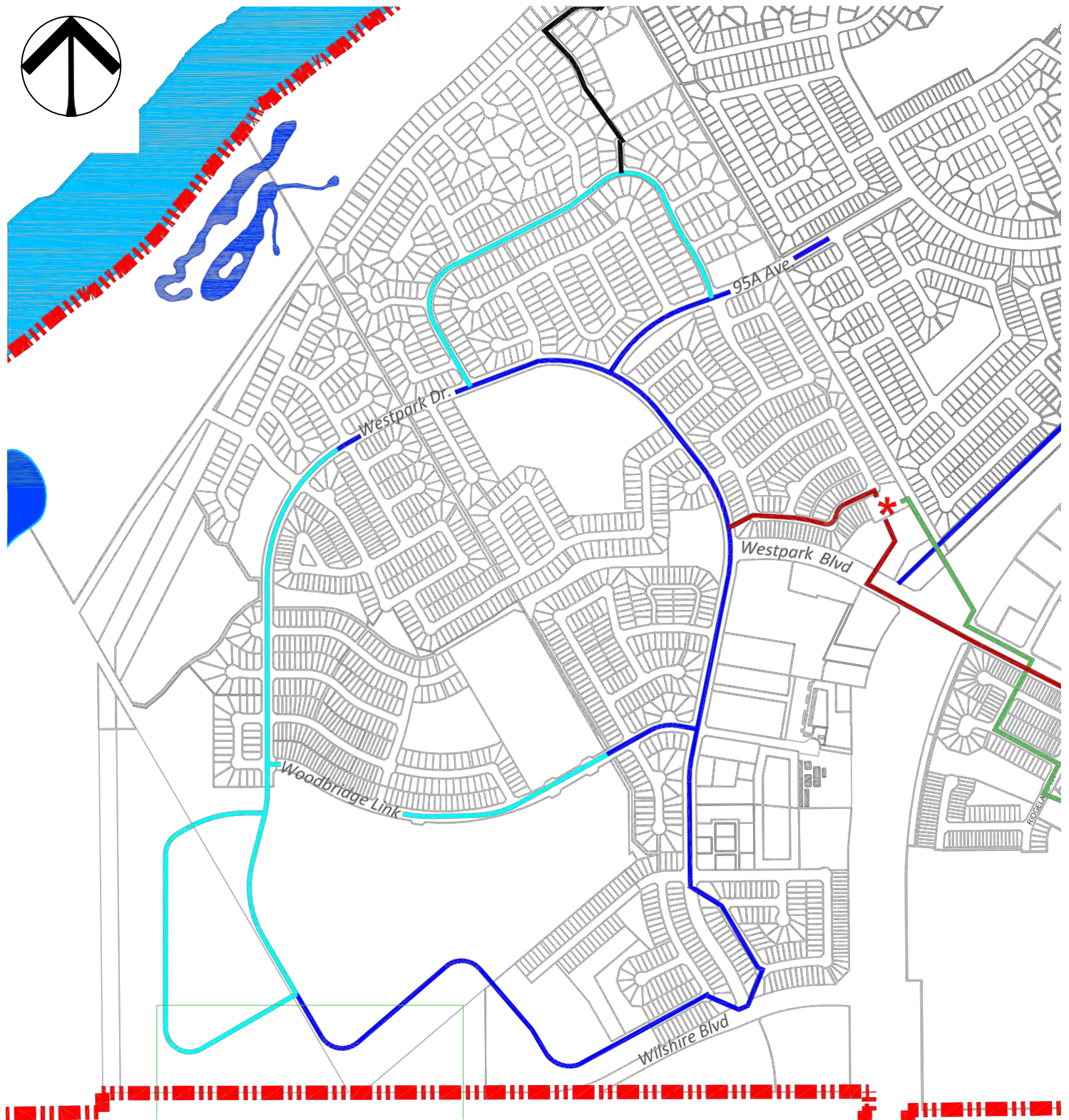


Figure 6.0 - Water Servicing
City of Fort Saskatchewan
Westpark Area Structure Plan

--- Municipal Boundary

- Pressure Mains - 150mm to 200mm
- Pressure Mains - 250mm
- Pressure Mains - 300mm
- Pressure Mains - 400mm to 450mm
- Water Commission Supply
- * Westpark Reservoir System

Note: All size, locations, and areas depicted are conceptual. Actual location & size will be determined through the outline plan and subdivision approval process. The number, size, and location of future school sites may change in response to student demographics. Building of new schools and other institutional uses is dependant upon provincial funding.



5.3 Sanitary Sewage Collection

The sanitary sewer system for the Plan area is shown on **Figure 7**. Most of the developable land within the Plan area generally slopes at a gradual grade to the northwest. The majority of the sanitary sewer within the Plan area will roughly follow the natural grade and drain by gravity. Lands below the valley break will require a lift station to pump sewage to the gravity system.

The Plan area is divided into two overall sanitary sewer catchments. The first consists of the majority of the Plan area, including the sub-catchment below the valley break. This catchment is served by a 450mm diameter trunk sewer flowing northeast along Valleyview Ridge and Riverpark Drive into an existing lift station. The lift station was upgraded in 2011 to accommodate maximum design flows at full build out. It discharges to a forcemain that runs through Chabot Park and outfalls to the Pineview trunk sewer. The second catchment consists of the Westwood Trails area, which drains by gravity to the existing network via a 375mm diameter trunk sewer on 95A Avenue. A peak flow bypass connects the catchments to prevent surcharge in the 375mm trunk.

The sanitary sewer system is designed to ensure sufficient capacity and flow velocities throughout the Plan area. Gravity flow will be used where feasible. Outline Plans and Neighbourhood Structure Plans will need to demonstrate that the downstream system has capacity for the proposed development. Oversizing may be required to accommodate future upstream flows. The Sanitary Sewer Master Plan and the City's Engineering Standards will guide future development of the system.

Additional modeling and studies will be required to determine requirements for sanitary sewage collection within the sub-catchment below the valley break, including lift station and forcemain dimensions.

5.4 Stormwater Drainage

The stormwater management system for the Plan area is shown on **Figure 8**. Most of the developable land within the Plan area generally slopes at a gradual grade to the northwest towards the North Saskatchewan River. Natural drainage follows this grade and few significant natural ponds or wetlands areas are present. The Plan area is divided into two overall storm water catchments. One roughly follows the boundary of River Lots 19 and 21, and the second consists of lands to the south and west, particularly below the valley break.

The stormwater management system includes an underground pipe network, overland flow routes, and detention ponds. Two storm outfalls discharge to constructed wetlands in the West River's Edge area, and serve the upper catchment. An interim ditch serves the lower catchment. The wetlands, and ultimately all runoff, drain to the North Saskatchewan River.



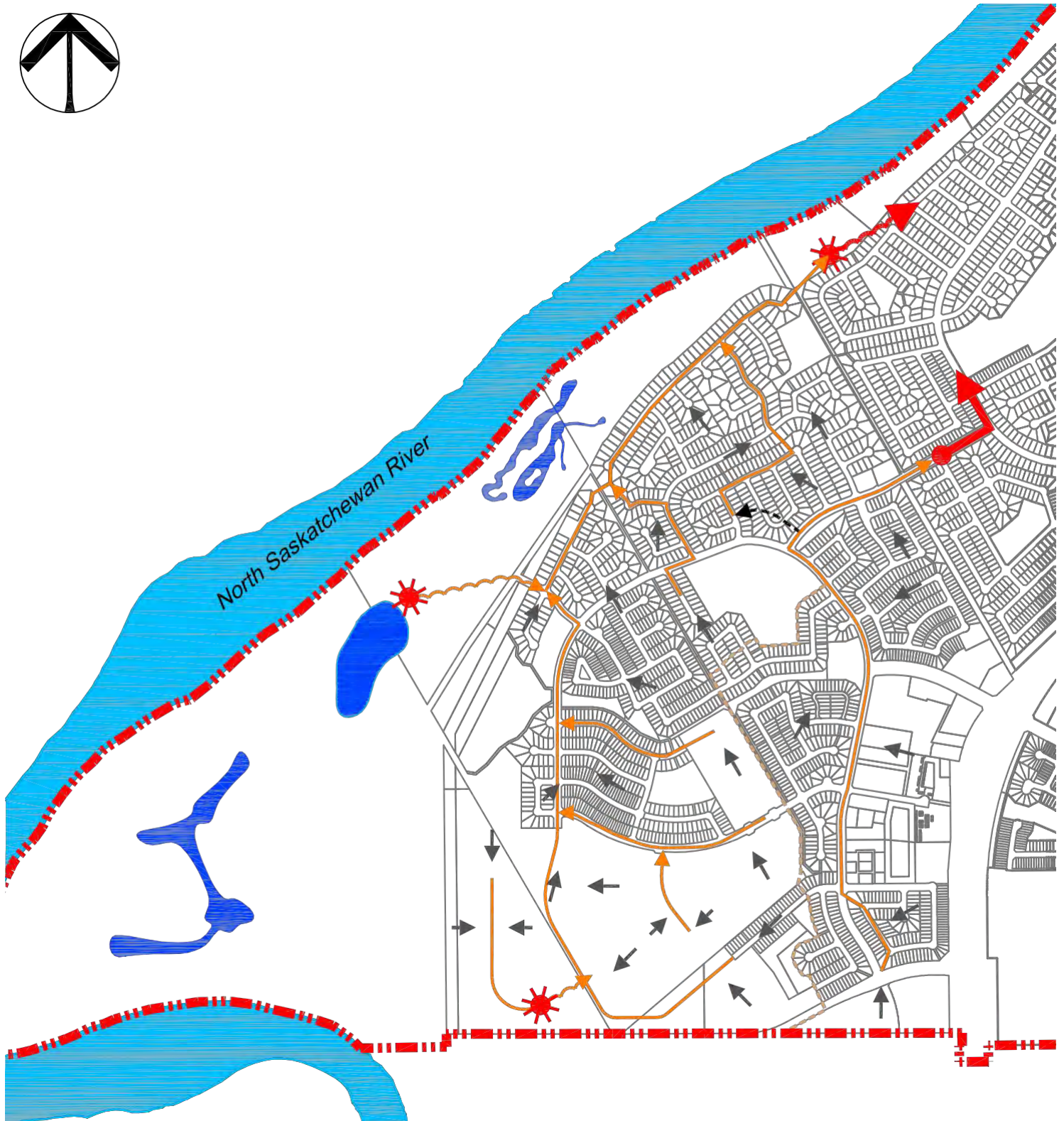


Figure 7.0 - Sanitary Servicing
City of Fort Saskatchewan
Westpark Area Structure Plan

- Sanitary Basin Boundary
- Gravity Mains
- Forcemains
- Peak-Flow Bypass Sewer
- Internal Sub-Basins

- - - - - Municipal Boundary
 ★ Lift Station
 → Discharge to system outside of plan area

Note: All size, locations, and areas depicted are conceptual. Actual location & size will be determined through the outline plan and subdivision approval process. The number, size, and location of future school sites may change in response to student demographics. Building of new schools and other institutional uses is dependant upon provincial funding.



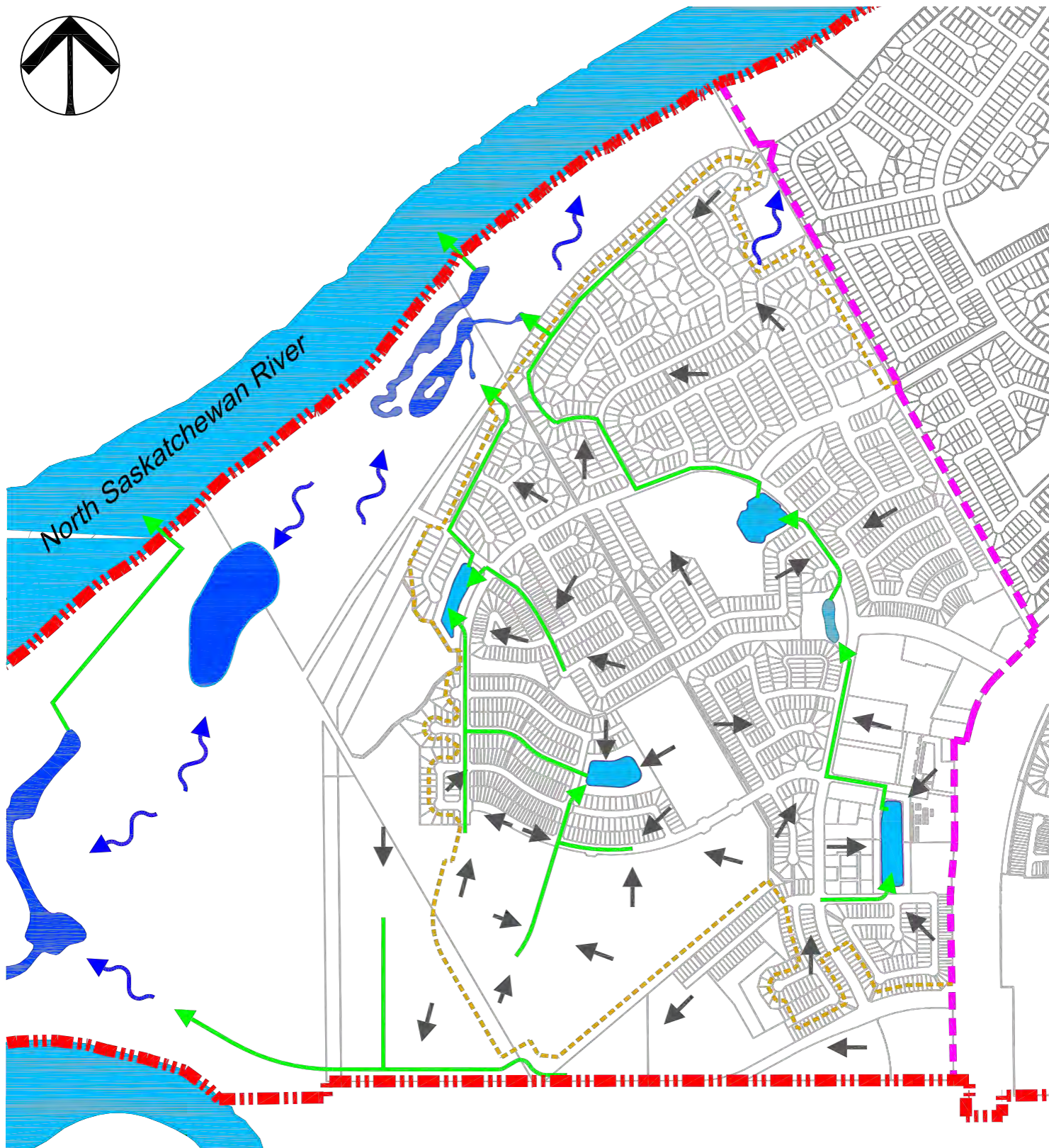


Figure 8.0 - Storm Servicing

City of Fort Saskatchewan

Westpark Area Structure Plan

--- Municipal Boundary

--- Sanitary Basin Boundary

Storm Water Management Facility
Wetland
Gravity Mains
Surface Drainage Collection
Underground Drainage Collection

Note: All size, locations, and areas depicted are conceptual. Actual location & size will be determined through the outline plan and subdivision approval process. The number, size, and location of future school sites may change in response to student demographics. Building of new schools and other institutional uses is dependant upon provincial funding.



The Westpark Stormwater Management Plan, City and Provincial standards, and industry best practices guide future development of the stormwater management system. The system will be designed to make best use of natural grade and existing topography. Modeling and studies may be required when submitting an Outline Plan or Neighbourhood Structure Plan to determine pipe and pond sizing, flow routes, and treatment measures.

Within developed areas of the Plan area, runoff from minor (1:5 year) storm events will be collected and conveyed by an underground pipe network. Discharge from all residential foundation drains will be collected by an underground network. These flows will be directed to a receiving pond or a dedicated surface channel, bio-swale, or wetland. Runoff from major (1:100 year) events will be managed through carefully planned surface grading that conveys flows along roads, utility corridors, and greenbelts. Detention (dry) and retention (wet) ponds shall be used to provide surcharge capacity.

Low Impact Development practices should be used where feasible to limit runoff volumes. Engineering design must ensure discharge to the North Saskatchewan River does not exceed predevelopment flow rates (4.5L/ha/s (0.0045m³/ha/s) as per the November 2009 Westpark Stormwater Management Plan by ISL Engineering and Land Services). Water quality will be addressed through use of ponds, wetlands, and other best practices.

A new stormwater trunk line will be required to replace the interim ditch serving the Windsor area and the remaining lower catchment area. This trunk line will be directed to constructed ponds in the West River's Edge area. A new outfall to the North Saskatchewan River will be required. No stormwater discharge will be permitted into any fish pond or pond used for recreation.

5.5 Franchise Utilities, SuperNet, and Postal Service

Natural gas, electricity, and communications systems will be provided by utility company service providers in accordance with franchise agreements. Extension, expansion, and upgrades of these systems will be coordinated with extension of municipal water and sewer systems. Where possible, conduits should be sized to allow for future expansion and additional systems.

Electrical and communications conduits, wires, and cables must be buried and surface equipment typically be contained to the boulevard within road allowances in a clustered manner. Natural gas mains should typically be contained within utility right-of-ways along property frontages. Land or right-of-ways shall be set aside to accommodate equipment and stations that cannot be accommodated within road allowances or standard utility lots.



Where SuperNet infrastructure is required, it should share alignment with other communications utilities. Effort should be made to determine future SuperNet needs and sufficient conduit should be placed in anticipation.

A power transmission line right-of-way bisects the Plan area between the West River's Recreation Area and those lands designated Low Density Residential. The right-of-way protects an existing 240 kV power line identified as a regional power corridor in the Capital Region Growth Plan.

Consideration for the safe and convenient placement of Canada Post community mailboxes is required. Door-to-door postal service is not anticipated; however, other services such as newspaper delivery may be provided on a door-to-door basis.

5.6.1 Servicing and Utilities Objectives

- To provide an efficient and sustainable servicing system based on the logical extension of municipal and franchise utilities.
- To ensure an efficient, effective, and coordinated utility layout that allows for ease of maintenance and replacement, limits conflicts, and minimizes adverse visual, environmental, and safety impacts.
- In support of the efficient use of municipal infrastructure and land, consider opportunities to co-locate community amenities wherever practical.
- To recognize the constraints associated with the existing topography and development, including terrain, flood limits, ecologically sensitive areas, and existing roads, utilities, and transmission lines.
- To protect the CRNWSC supply line for maintenance and potential future twinning if necessary.
- To protect the regional power corridor for maintenance and safety and to minimize land use conflicts with residential and park/open space development.

5.6.2 Servicing and Utility Policies

MDP

- Development phasing shall be determined by the efficient and logical extension of services that prevents "leapfrog" development.
- Where possible, encourage multiple-use utility corridors and right-of-ways, common utility alignments, and clustered/shared equipment.
- Encourage the connection and overlap of stormwater ponds with school sites, park areas, playgrounds, and sports fields.



- Where utility structures are located in amenity areas, they shall have adequate screening and buffering from other adjacent land uses.
- Require all new electrical and communications wires and cables to be buried, and encourage the burial of existing overhead lines where feasible.
- The CRNWSC shall be consulted when seeking additional connections to the supply line, and prior to development of the supply line corridor as a linear park space so that there are no adverse impacts on operation, maintenance and potential twinning, if necessary, of the supply line.
- Where developers propose the introduction of a new residential use, such as reduced setback housing developments, they shall update the Outline Plan or Neighbourhood Structure Plan to demonstrate the storm water management system will function at the initially planned level of service.



6.0 TRANSPORTATION

6.1 Access, Intersections, and Geometry

Road geometry must conform to Transportation Association of Canada (TAC) guidelines and the City's Engineering Standards. The road cross-section will consider all roadway uses, including parking and maintenance.

Intersection spacing, including parking lot access must conform to TAC guidelines. Block length or road configuration may warrant pedestrian walkway short-cuts and emergency access. Special access considerations (e.g. additional accesses, queuing lanes, bus bays etc.) may be required at institutional, commercial, and multi-unit residential sites to accommodate high volumes of traffic or site specific needs such as loading zones and drop-off areas.

Offset intersections may be used within the local road network to reduce conflict points and shortcutting. However, to ensure efficient traffic flow on collectors and arterials, offsets should be limited and full-direction intersections should be used.

Utility lots perpendicular to 'T' intersections must be aligned to allow direct pedestrian crossings. Use of mid-block pedestrian crossings should be avoided but may be permitted for trail network connectivity. Special provisions to enhance pedestrian visibility and safety may be required at these locations. The safety of non-motorized users must be a design priority.

6.2 Pedestrian Circulation

Active and public transportation is the highest prioritized form of transportation, as they promote healthy lifestyles, reduces impact on the environment, and encourage interaction between neighbours. Pedestrian access to all major open space and recreation points, in addition to linking commercial, residential and institutional nodes, is essential to the overall development concept.

A series of multi-use trail linkages through the river valley, along the highway corridor, and through greenbelts connects the Plan area with surrounding neighbourhoods. An internal trail network follows greenbelts, utility lots, storm ponds, and major roadways. The West River's Edge Master Plan, Recreation and Culture Master Plans, and the City's Engineering Standards will be used to guide future development of trails and sidewalks.

Trails must accommodate various forms of active transportation, and ensure universal accessibility for wheelchairs and strollers. Alignments and routes must consider both recreational and commuter usage. According to survey results, 53% of respondents use the trails for recreation, and 47% use the trails for both



recreation and getting to a destination. In general, the trail system is fed from connecting local sidewalks and accommodates higher volumes of traffic travelling longer distances than local sidewalks.

The trail network must ensure pathway continuity, and provide efficient and safe pedestrian circulation within the Plan area while providing linkages to surrounding areas. Trails should follow greenbelts, parks, storm ponds, environmentally or topographically interesting features, and major roads.

Universally accessible sidewalks must be provided for pedestrians along all classifications of roads. Local roads with low traffic volume should accommodate certain active transportation forms, such as cycling. Sidewalks will generally be used for direct access to lots, short trips, and linkage to the trail system. Along major roads serviced by a trail on one side, sidewalks provide a separate path for pedestrians, helping to reduce conflict with other faster moving trail users.

6.3 Vehicular Circulation

The roadway system for the Plan area is shown on **Figure 9**. Highway 15/21 to the east is identified as part of the Regional Road/Highway network in the Capital Region Growth Plan. The road network within the Plan area is structured around an internal ring-road, Westpark Drive, and connects to the surrounding network via branching arterial roads. 95A Avenue links to the Pineview community. Westpark Boulevard and Wilshire Boulevard link to Highway 21 and to the Southfort community. Pointe-Aux-Pins Road in Strathcona County connects near the south limit of the Plan area. Additional collector roads provide internal linkage inside and around Westpark Drive.

The transportation network will continue to be developed in a manner that harmoniously provides for all modes of transportation. Transit routes will ensure bus stops are located within convenient walking distance to all residential lots, and will provide direct service to commercial nodes. Roads must be developed to accommodate the safe and timely operation of busses, emergency vehicles, and maintenance equipment and to move vehicular traffic in harmony with other users.

The network must ensure the efficient and safe flow of vehicular traffic through the Plan area. The number and length of cul-de-sacs should be limited. Alignments and connections should be direct and logical, and multiple links should be provided to divide traffic and provide greater routing flexibility. Parked vehicles and snow windrows must be considered so that the flow of traffic is not adversely affected. Traffic calming measures that follow TAC guidelines may be permitted, if deemed necessary during Outline Plan or Neighbourhood Structure Plan review.





Figure 9.0 - Transportation Plan

City of Fort Saskatchewan

Westpark Area Structure Plan

-  Highway
-  Major Arterial
-  Major Collector
-  Municipal Boundary

Note: All size, locations, and areas depicted are conceptual. Actual location & size will be determined through the outline plan and subdivision approval process. The number, size, and location of future school sites may change in response to student demographics. Building of new schools and other institutional uses is dependant upon provincial funding.



The City's Transportation Master Plan, Transportation Guidelines, as well as TAC guidelines will be considered when designing development. Periodic transportation analysis should be undertaken as development progresses to determine if any adjustments to the road network are required. Engineering Design Briefs will require a traffic impact assessment to verify the function of collectors and arterial roads. Reduction or increase of the classification may be permitted or required if conditions warrant.

A conventional hierarchical system of lanes, local roads, collectors, and arterials will generally be used within the Plan area. To allow flexibility over time, local road alignments will be established in Outline Plans or Neighbourhood Structure Plans. Innovative and alternative configurations may be used if supported by study.

Traffic circles may be considered at intersections that might otherwise require all-directional stop control or signalization where their use could improve traffic flow and safety. Circles must be sized to properly accommodate all anticipated traffic including busses, emergency vehicles, and maintenance equipment

Collector roadways are anticipated to handle moderate traffic flows of up to 5,000 vehicles per day. Arterial roadways are anticipated to handle traffic flows up to 10,000 vehicles per day. Adjustments to the network layout or roadway design may be needed if these volumes are to be exceeded.

6.4.1 Transportation Objectives

- To provide for safe and convenient access for anyone travelling into, out of, and within the Plan area.
- To provide a harmonious transportation network that supports all modes of transportation.
- To accommodate access to the Pointe-Aux-Pins subdivision as per the City of Fort Saskatchewan-Strathcona County Boundary Accord.
- To recognize the constraints associated with the existing topography and development, including terrain, flood limits, ecologically sensitive areas, utilities, and existing roads.
- To recognize Highway 15/21 as part of the Regional Road/Highway network.

6.4.2 Transportation Policies

MDP

- Ensure streets accommodate all users and transportation forms. Roadways shall include adequate facilities for pedestrians, cyclists, and public transit users, as well as allow for the effective operation of Public Works and Emergency Services.



- Require that public transit routes, stops, and facilities be defined in Outline Plans or Neighbourhood Structure Plans and accommodated as part of roadway design.
- Continue to extend the multi-use trail network.
- Encourage alternative configuration development that may include off-site parking, rear sidewalk corridors, and/or other layouts that reduce infrastructure requirements and long-term maintenance.

MDP

- Require the provision of safe and convenient pedestrian linkages between blocks to minimize walking distances. Small block widths of 60 to 100 metres shall be encouraged to benefit pedestrians and cyclists.

MDP

- Work to reduce pedestrian barriers and to increase opportunities for safe crossings for major roads and expressways.
- Ensure that Transportation Impact Studies are prepared to evaluate the impacts of major development on the safe and efficient movement of pedestrians, cyclists, public transit, and vehicles.
- Where appropriate, consider the use of well planned traffic circles or roundabouts where the use could improve traffic flow and safety. Any traffic circles must be able to properly accommodate all anticipated types of traffic safely, comfortably, and efficiently.
- Require noise attenuation studies and noise mitigating measures for residential development adjacent to Highway 21.

MDP

- Limit permanent new access points along Highway 15/21 to maintain an expressway standard, and continue their function as part of the Regional Road/Highway network.
- Prohibit front driveway access to arterial and major collector roadways. Front drive access from minor collector roads may be permitted on a limited basis.

PUBLIC INPUT

- Single detached housing on narrow lots, semi-detached, and multi attached dwellings with front access shall face green spaces, dwellings with rear access, or developments with shared access to allow one side of the street to be used for off-site parking and operational needs.

PUBLIC INPUT

- Provide diversity in street names to allow for easy navigation.



7.0 IMPLEMENTATION

7.1 Staging and Implementation

The Westpark community provides Fort Saskatchewan an opportunity to demonstrate sustainable development based on sound planning principles. With the majority of the gross developable area already developed, the remaining lands shall be developed in a manner that implements the policies and objectives outlined in regional and municipal statutory documents.

Development shall follow the principles and objectives outlined in this Area Structure Plan, as well as the Municipal Development Plan, Community Sustainability Plan, Capital Region Growth Plan, and other significant policy documents. Westpark will be a complete community designed for people.

Prior to redistricting and subdivision approval, developers will be required to provide an Outline Plan or Neighbourhood Structure Plan and an Engineering Design Brief for the parcel in its entirety to demonstrate how development will align with municipal and regional statutory documents, including this Area Structure Plan. Developers shall follow the general intent of the Land Use Concept.

Design Forums will be used early in the redistricting and subdivision application process to facilitate a round table discussion between various City departments and the developer. Through this process, concerns can be identified early in the process, and both parties can work to develop a solution.

Phasing will occur in a logical pattern, as determined through location of services, accesses, and existing development. Public Works and Engineering will collaborate with the developers to ensure servicing adheres to the Engineering Design Standards.

The City will work with community leaders to develop neighbourhood assets, and to resolve neighbourhood concerns. Through this process of collaboration, the City continues to work towards its vision:

The Fort: Engaged People, Thriving Community.



8.0 REFERENCES

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APPENDIX A - DEVELOPMENT ESTIMATES

Gross Area	492.5ha	%
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West River's Edge Recreation Area	195.8	39.8
Environmental Reserve	3.0	0.6
Power line R/W	9.2	1.9
Highway 21 Road Widening	3.0	0.6

Gross Developable Hectares (gdha)	281.6	%
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Municipal Reserve (including school sites)	28.16	10.0
Stormwater Management Facility	2.8	0.2
Roads (assume 20% of GDA)	56.0	20.0
Commercial	15.0	5.3
Institutional	0.4	0.1

Net Developable Hectares (ndrha)	179.24	
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2012 Municipal Census Statistics	Westpark	Fort Sask
Westpark Population	5819	20,475
Dwelling Units	2125	7798
Residents/Dwelling	2.74	2.63
Unoccupied Dwelling Units and Vacant Lots	365	1213
Total Dwelling Units including Vacant Lots	2490	9011

Population Estimates	Undeveloped Land	Westpark Total
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Remaining Undeveloped Residential	78.55 gdha	
Less 32.5% for deductions (MR, Roads, SWMF)	25.53 ha	
Remaining Undeveloped Residential Land (net)	53.02	
Additional Dwelling Units(25-30du/ndrha)	1300 - 1600	3800 – 4100
Additional Population	3600 - 4400	10,500 – 11,200
People per gross developable hectare		37 - 40

CRB Population Forecast (December 2009)	Fort Sask
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2014	21,409
2019	24,362
2029	29,563
2044	38,840



APPENDIX B – SURVEY RESULTS



Westpark Neighbourhood Survey Results



C I T Y O F
FORT SASKATCHEWAN

Corporate Strategies
Planning & Development

November 21, 2012



Your neighbourhood is growing How should it grow?

The plan that sets the guidelines for building development in Westoark is almost 10 years old, and is in need of an update. As part of the update process, Planning & Development sought input from Westpark residents through a survey that was mailed to each household. Residents had from October 3 to October 31 to complete the survey.

276 residents completed the survey!

216 (78%) Completed online

42 (15%) Mailed hard copy

18 (7%) Completed via text message

As an incentive for completing the survey, the City of Fort Saskatchewan gave away an iPad to one lucky resident.

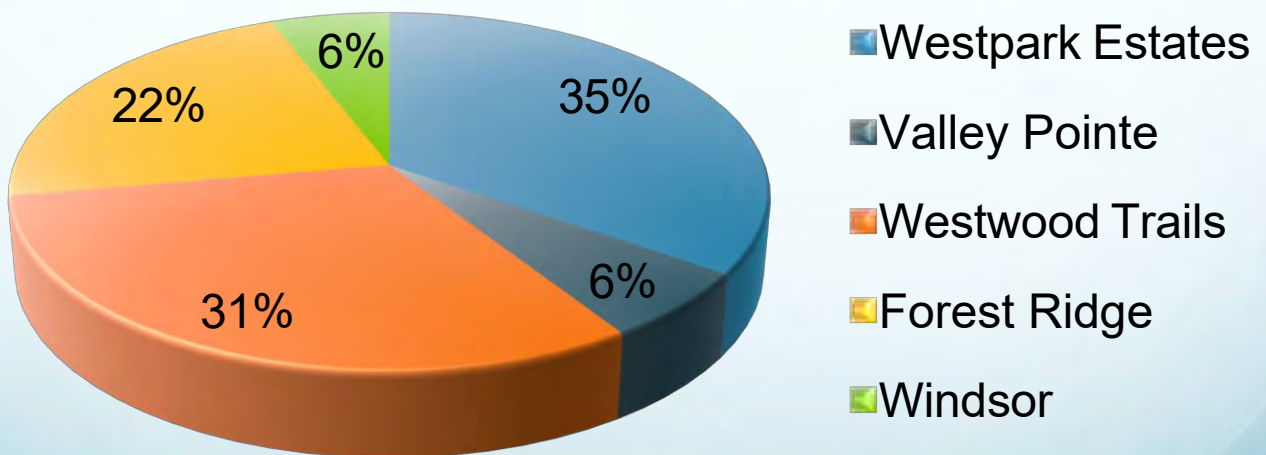
Congratulations **Kyler Mullins!**

Residents who did not live in Westpark were also welcome to discuss the future of the community with Long Range Planner.

The results of the survey have been summarized in this document.



What neighbourhood do you live in?





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Which street would you prefer in your neighbourhood?



Which type of park do you feel is missing from your neighbourhood?



Large Natural Parks

24



Playground

31



Manicured Parks

99



Gathering Spaces

103

None of the above

17

0 50 100 150

What type of commercial would you prefer in your neighbourhood?



Big Box Stores

29



Residential /
Commercial Mixed
Use

77



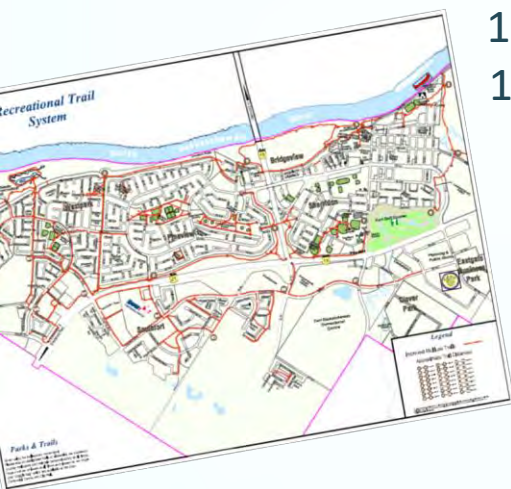
Small
Neighbourhood
Level

137

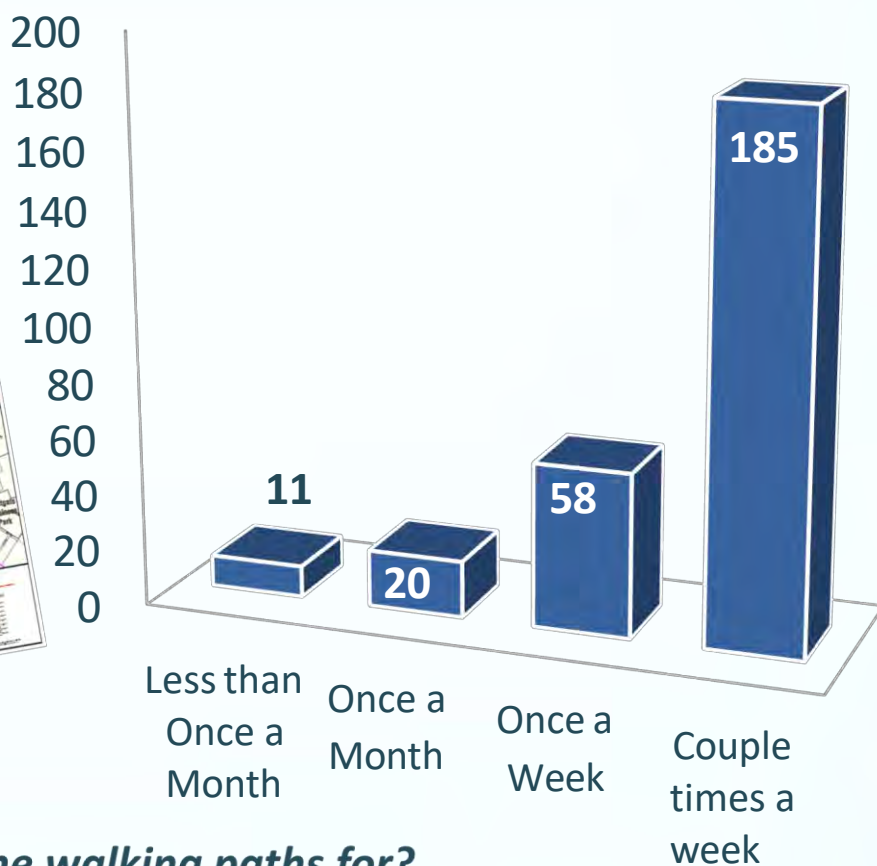
None of the above

40

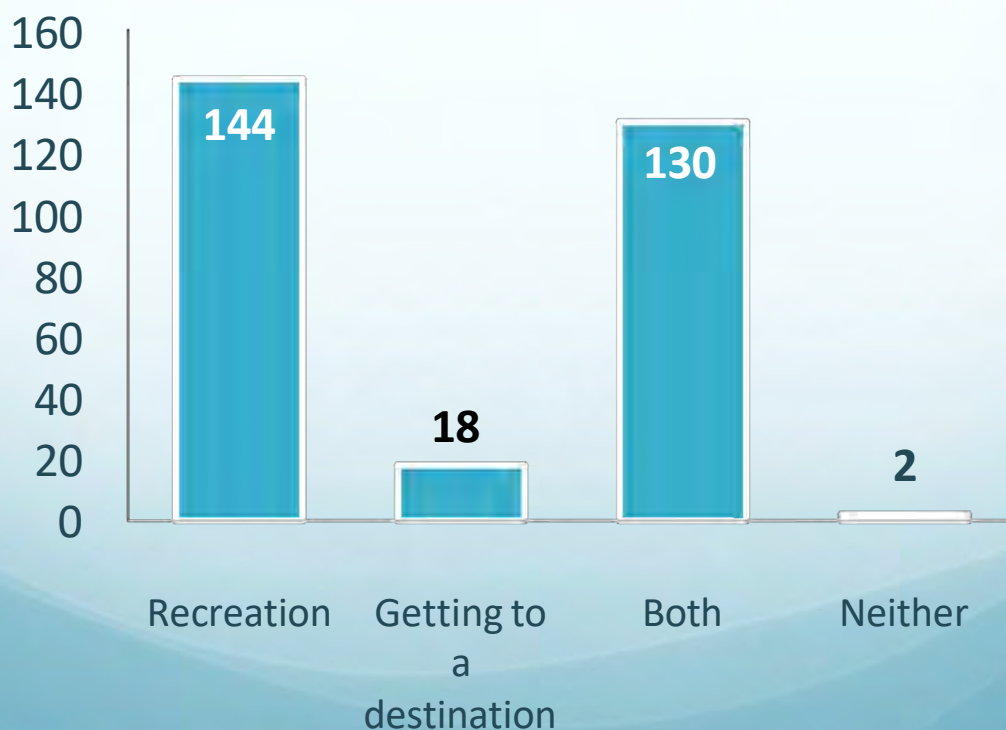
0 50 100 150



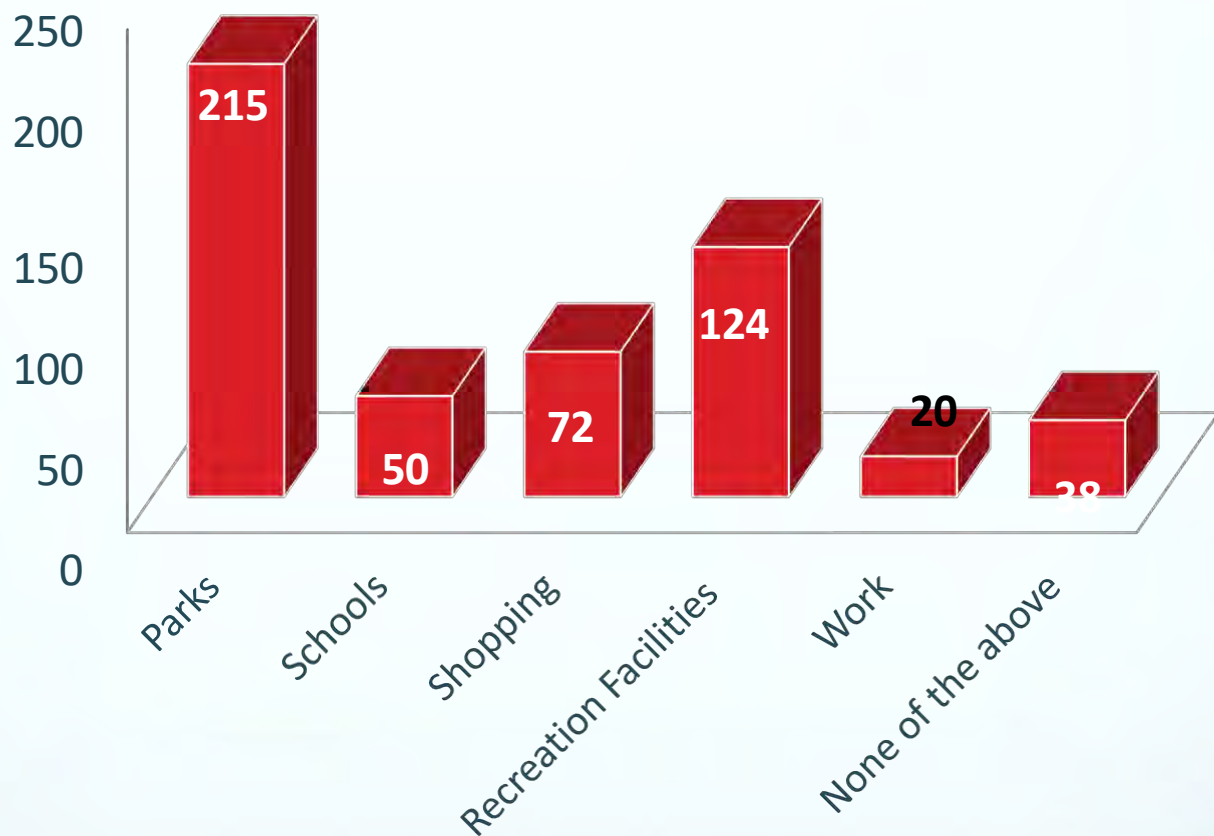
How often do you use the walking paths?



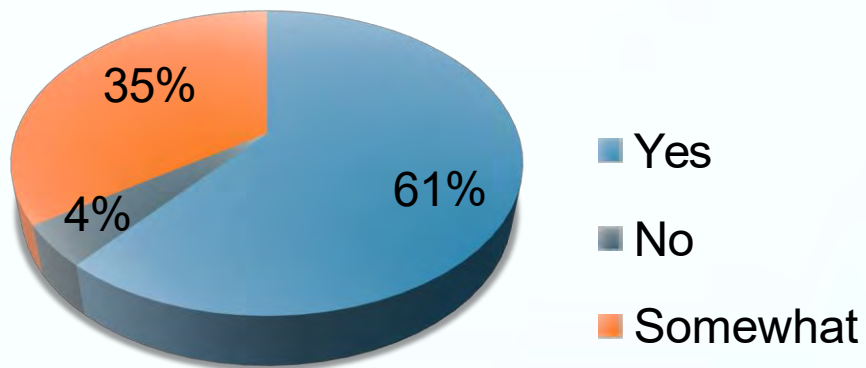
What do you use the walking paths for?



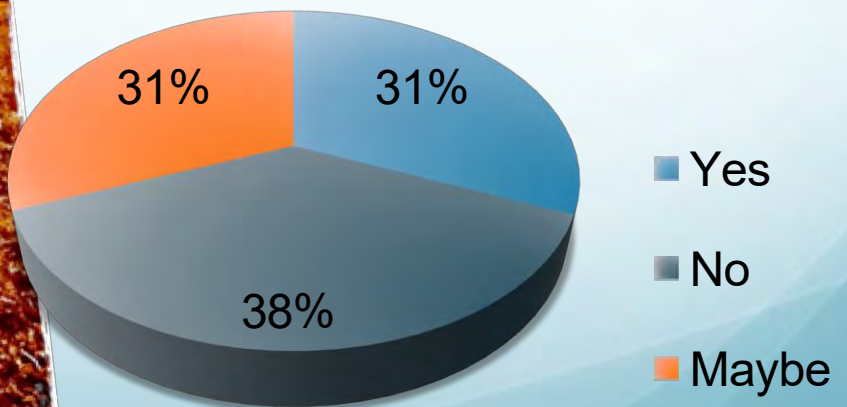
Do you walk or bike to any amenities?



Is it important to you to know your neighbours?



Would you use a community garden, if there was one in your neighbourhood?





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Comments

What you had to say!

Residents rated the following positively:

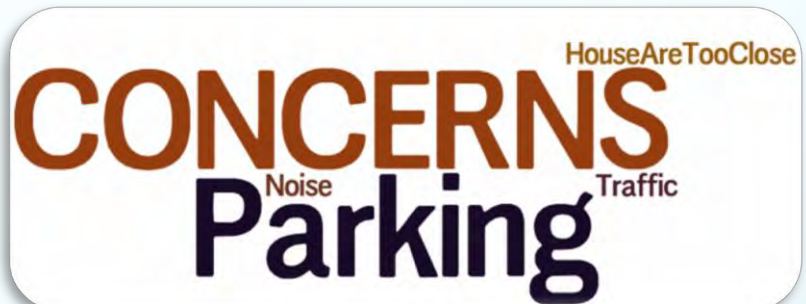
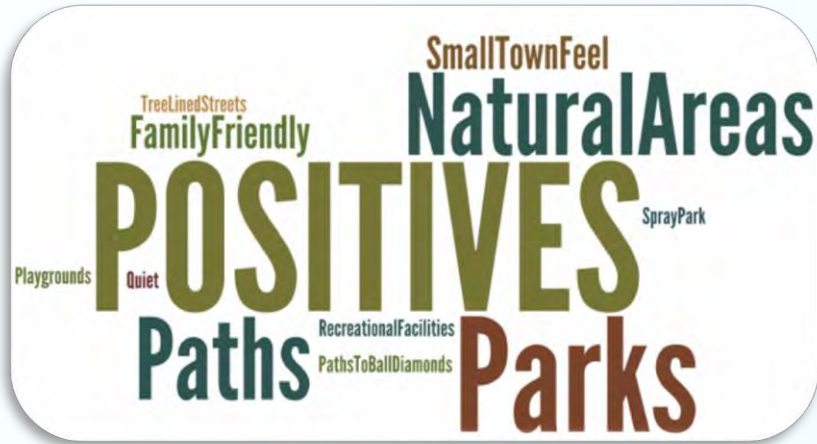
- Paths
- Green Spaces
- Trees
- Family Friendly
- Natural Beauty

Concerns included:

- Traffic
- Lack of Parking
- Speeding
- Houses are too close together

Residents would like to see:

- School
- Wider Roads
- Speed Controls
- Larger Lots
- More amenities
- Neighbourhood character
- Dog Park





CITY OF FORT SASKATCHEWAN

If you have any questions regarding the Plan updates, survey results, or would like to stay informed on the project please contact the Long Range Planner, Janel Smith at 780-992-6243 or jsmith@fortsask.ca



The plan that sets the guidelines for building development in the Southfort and Westpark neighbourhoods are almost 10 years old, and are in need of an update. This is your opportunity to provide input into what the future of your neighbourhood could look like!

The Southfort and Westpark Area Structure Plans outline:

- Objectives and Policies
- Parks and School locations
- Land Uses and Housing Types
- Densities
- Phasing



As the people who live, work, and play in these neighbourhoods, we want to know what you like about your communities, and what would you improve? Your input will help us to shape development for the remainder of Southfort and Westpark.

Residents who **complete the brief survey** (5 minutes) will be entered to **win an iPad!** Surveys can be completed online at fortsask.ca or complete the attached survey and mail your answers to:

City of Fort Saskatchewan
Attn: Long Range Planner
11121 88 Avenue
Fort Saskatchewan, AB T8L 2S5

You can also text your answers to 780-668-0277. Make sure to include your name and your phone number for the iPad draw (example: John Smith 780-123-4567: 1J, 2C, 2D, 3A). Personal information will not be shared, and entry forms will be shredded after the iPad draw.



Survey results will be posted on the City's website (fortsask.ca), Facebook (facebook.com/fortplanning), and Twitter (@fortplanning). Please return surveys by **October 31, 2012**.

If you have any questions, would like more information, or would like to stay informed on the plan updates, contact the Long Range Planner, Janel Smith, at jsmith@fortsask.ca or 780-992-6243.

Thank you for your time, and good luck!



facebook.com/fortplanning



@fortplanning



CITY OF
FORT SASKATCHEWAN
ALBERTA



Southfort is a 700 hectare (1,700 ac) developing community in Fort Saskatchewan that will ultimately house over 23,700 residents. Within Southfort, there are 7 neighbourhoods: Southfort Heights, Southfort Village, Southfort Estates, SouthPointe Estates, Sienna, Southfort Ridge, and Southfort Meadows.



Westpark is a 500ha (1232ac) developing community in Fort Saskatchewan, that will ultimately house over 12,200 people. Within Westpark, there are 5 neighbourhoods: Westpark Estates, Valley Pointe, Westwood Trails, Forest Ridge, and Windsor.

Both plans were last updated in 2003, and are now being updated to reflect Fort Saskatchewan's current status, future direction, and recently approved planning documents, including:

- Municipal Development Plan (2010),
- Community Sustainability Plan (2009),
- Capital Region Growth Plan and density target (2010),
- Increased residential density and demand for housing diversity,
- Road network and school sites

1. What neighbourhood do you live in? (See maps above)

- | | |
|-------------------------|----------------------|
| 1A) Southfort Heights | 1H) Westpark Estates |
| 1B) Southfort Village | 1I) Valley Pointe |
| 1C) Southfort Estates | 1J) Westwood Trails |
| 1D) SouthPointe Estates | 1K) Forest Ridge |
| 1E) Sienna | 1L) Windsor |
| 1F) Southfort Ridge | |
| 1G) Southfort Meadows | |



2. Which street would you prefer in your neighbourhood? (Select one or more)



None
of the
above.

2E

3. Which type of park do you feel is missing from your neighbourhood?



4. What type of commercial would you prefer in your neighbourhood?



5. How often do you use the walking paths?

- 5A) Couple times a week
- 5B) Once a week
- 5C) Once a month
- 5D) Less than once a month

6. What do you use the walking paths for?

- 6A) Getting to a destination
- 6B) Recreation
- 6C) Both
- 6D) I don't use the walking paths

7. What amenities do you walk or bike to?
(Select one or more option)

- 7A) Parks
- 7B) Schools
- 7C) Shopping
- 7D) Recreation Facilities
- 7E) Work
- 7F) None of the above

8. Why did you choose your neighbourhood?
(please rank: 1 highest – 7 lowest. If texting answers list from highest to lowest: 8C, 8F, 8G – Trees and nature, 8D, etc.)

- 8A) Safety # _____
- 8B) Affordability # _____
- 8C) Quietness # _____
- 8D) Parks & paths # _____
- 8E) Amenities (stores, schools, etc.) # _____
- 8F) Family Friendly # _____
- 8G) Other # _____

9. Is it important to you to know your neighbours?

- 9A) Yes
- 9B) No
- 9C) Somewhat

10. Would you use a community garden, if there was one in your neighbourhood?

- 10A) Yes
- 10B) No
- 10C) Maybe

Please share any additional comments:

iPad Draw: Name: _____ Number: _____
Provide your email if you would like to stay informed: _____

APPENDIX C – AMENDMENTS

Bylaw	Date	Description	Pages Affected
C17-14	July 8, 2014	Redesignate Lot 2, Block 37, Plan 142 2229 from Medium Density Residential to High Density Residential	iii
C2-22	Jan. 25, 2022	Updates to address new residential development concepts, lot access, and Neighbourhood Structure Plans.	ii, 2, 23, 24, 25, 26, 28, 32, 33, 38, 40, 42, 44, 45, 46
C1-24	Mar 12, 2024	Updates to address new residential development concepts in Forest Ridge. Inclusion of mixed low and medium density residential development in Forest Ridge.	iii, 24, 26

All ASP amendments are also available on the City Website at www.fortsask.ca

