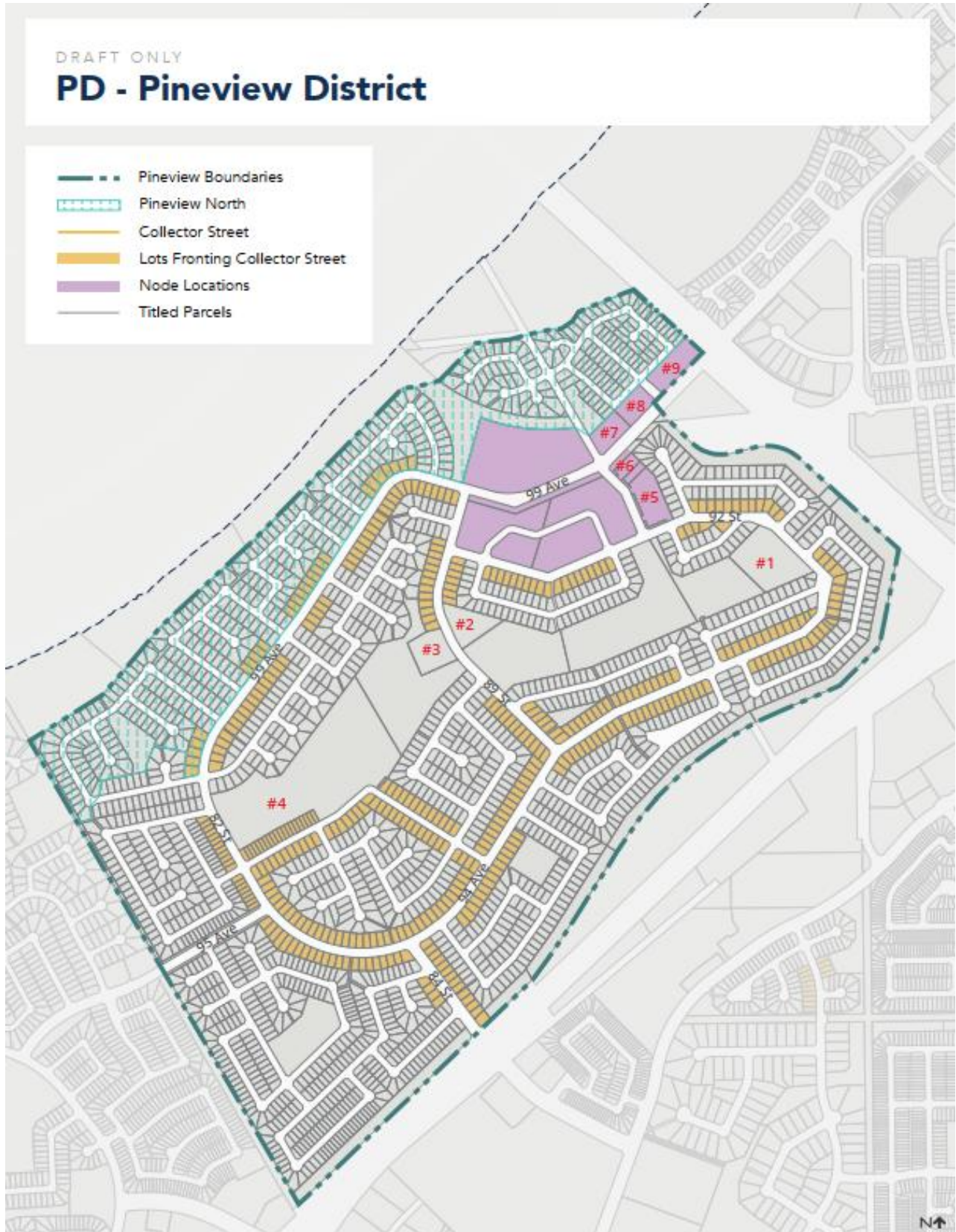


PVD – Pineview District

(1) MAP



(2) PLACETYPE

The Pineview Neighbourhood is an established residential community reflecting the development patterns of the 1970s and 1980s. The neighbourhood is predominantly composed of Detached Dwellings complemented by centrally located parks and schools. Four schools serve the area, contributing to Pineview's strong sense of community.

Pineview does not have rear lanes, meaning vehicular access is provided through front or side driveways. Low-density housing in Pineview is characterized by lower-profile homes, including bungalows, bi-levels, and split-level houses, with predominantly low-pitched roofs. Homes are typically oriented from side to side due to the neighbourhood's wide lot configurations. Many properties feature detached garages located in the rear yard, with driveways running alongside the house from the street to the garage.

Commercial amenities are concentrated in the northern part of Pineview, southwest of Highway 15, providing essential services and retail options for residents. Parks, schools, and community services are well-integrated within the neighbourhood and are connected by a multi-purpose trail system, linking Pineview to the river valley and surrounding communities.

(3) INTENT

i. General Intent

The purpose of this District is to preserve Pineview's low-density residential character while enabling subtle and complementary redevelopment that enhances housing diversity and fits with the identity of the existing neighbourhood. Currently, neighbourhood services are concentrated in a single location, presenting an opportunity to strengthen this area with a mix of uses and housing options to create a local node that supports community interactions. This node also offers opportunities for thoughtful redevelopment that aligns with the established character of Pineview while providing additional housing choices and neighbourhood conveniences.

ii. Land Use Intent

Low-density housing shall remain the predominant land use in Pineview, maintaining the neighbourhood's established character. A single designated node will provide limited opportunities for small-scale Apartment housing and community-oriented services, supporting a mix of uses that enhance neighbourhood convenience and social interaction. Limited integration of additional 4% Duplexes may be located fronting Collector Streets and Local Streets, provided they blend seamlessly with the surrounding development. Townhousing will be restricted to the designated node to ensure that any new development remains consistent with Pineview's existing built form and scale.

iii. Form of Development and their Locations

Existing low-density development may accommodate Backyard Dwellings where site conditions allow, providing additional housing options while maintaining the established character of the neighbourhood. Duplexes on Local Streets will be designed to blend seamlessly with surrounding homes, ensuring compatibility with the existing built form. Collector Streets may accommodate Duplexes alongside Detached Dwellings, maintaining a balanced streetscape.

Development within the neighbourhood Node will support a diverse mix of commercial, residential, and institutional uses, integrating medium-density and small-scale higher-density housing options to create a

vibrant community hub. The intensity and scale of development will transition outward from the Node, ensuring that higher-density forms step down gradually to surrounding low-density residential areas, maintaining compatibility with the existing neighbourhood character.

(4) USES AND TYPOLOGY

- a) Abutting attached garages and driveways for Duplex and Townhouse Dwellings must be paired together to maximize separation between driveways to allow for on street parking and operational functionality.

Building Type	Requisite Qualifiers			Fundamental Use Provision
	Locations			
	Node	Collector Street	Local Street	
Apartment	D	-	-	
Backyard Dwelling	-	D	D	
Detached Dwelling	-	P	P	Neither a Permitted or Discretionary Use on the following parcels: Plan 492RS; Block 29; Lot b (#1) Plan 4630RS; Lot K (#2) Plan 7820277; Lot 1 (#3) Plan 7620286; Block 46; Lot R3 (#4)
Duplex	-	D	D	Neither a Permitted or Discretionary Use on the following parcels: Plan 492RS; Block 29; Lot b (#1) Plan 4630RS; Lot K (#2) Plan 7820277; Lot 1 (#3) Plan 7620286; Block 46; Lot R3 (#4)
Internal Secondary Suite	-	P	P	
Stacked Duplex	-	D	D	Neither a Permitted or Discretionary Use on the following parcels: Plan 492RS; Block 29; Lot b (#1) Plan 4630RS; Lot K (#2) Plan 7820277; Lot 1 (#3) Plan 7620286; Block 46; Lot R3 (#4)
Stacked Townhousing	D	-	-	
Townhousing	D	-	-	
Commercial Block	D	-	-	Only on the following parcels: Plan 492RS; Block 26; Lot 1 (#5) Plan 6066RS; Block 26; Lot 1A (#6) Plan 9323415; Lot 7 (#7) Plan 9323415; Lot 5 (#8) Plan 9622470; Block 2; Lot 30 (#9)
Commercial Office Building	D	-	-	Only on the following parcels: Plan 492RS; Block 26; Lot 1 (#5) Plan 6066RS; Block 26; Lot 1A (#6) Plan 9323415; Lot 7 (#7) Plan 9323415; Lot 5 (#8) Plan 9622470; Block 2; Lot 30 (#9)
Mixed Use Building	P	-	-	Only on the following parcels: Plan 492RS; Block 26; Lot 1 (#5)

Building Type	Requisite Qualifiers			Fundamental Use Provision
	Locations			
	Node	Collector Street	Local Street	
				Plan 6066RS; Block 26; Lot 1A (#6) Plan 9323415; Lot 7 (#7) Plan 9323415; Lot 5 (#8) Plan 9622470; Block 2; Lot 30 (#9)
Single Structure Commercial Pad	D	-	-	Only on the following parcels: Plan 492RS; Block 26; Lot 1 (#5) Plan 6066RS; Block 26; Lot 1A (#6) Plan 9323415; Lot 7 (#7) Plan 9323415; Lot 5 (#8) Plan 9622470; Block 2; Lot 30 (#9)
Storefront	D	-	-	Only on the following parcels: Plan 492RS; Block 26; Lot 1 (#5) Plan 6066RS; Block 26; Lot 1A (#6) Plan 9323415; Lot 7 (#7) Plan 9323415; Lot 5 (#8) Plan 9622470; Block 2; Lot 30 (#9)
Strip Mall	D	-	-	Only on the following parcels: Plan 492RS; Block 26; Lot 1 (#5) Plan 6066RS; Block 26; Lot 1A (#6) Plan 9323415; Lot 7 (#7) Plan 9323415; Lot 5 (#8) Plan 9622470; Block 2; Lot 30 (#9)
Indoor Assembly	P	D	-	Only on the following parcels: Plan 9622470; Block 2; Lot 30 (#9) Plan 4335TR; Lot R6 (#10)
Public Service Building	D	-	-	Only on the following parcels: Plan 492RS; Block 26; Lot 1 (#5) Plan 6066RS; Block 26; Lot 1A (#6) Plan 9323415; Lot 7 (#7) Plan 9323415; Lot 5 (#8) Plan 9622470; Block 2; Lot 30 (#9)
School	P	P	-	Only on the following parcels: Plan 492RS; Block 29; Lot b (#1) Plan 4630RS; Lot K (#2) Plan 7820277; Lot 1 (#3) Plan 7620286; Block 46; Lot R3 (#4)
Urban Agriculture	D	D	D	
Sign	D	D	D	

(5) LOT AND SUBDIVISION STANDARDS

Uses	Typology	Node	Collector Street	Local Street
Site Width	Apartment	Min. 25.0m	-	-
	Stacked Townhousing, Single Structure Commercial Pad, Strip Mall, Storefront, Commercial Block, Commercial Office Building, Mixed Use Building, Inn,	At the Discretion of the Subdivision Authority	-	-

Uses	Typology	Node	Collector Street	Local Street
	Indoor Assembly, Public Service Building, School			
	Detached, Stacked Duplex	-	Min. 11.0m Corner Lot: Min. 11.2m Maximum 22.0 m	
	Duplex	-	Min. 7.9m Corner Lot: Min. 9.7m	
Site Depth	Detached, Duplex, Stacked Duplex	-	Min. 34.0 m	

(6) BUILT FORM AND SITING

- a) Setbacks may be reduced to 0.0m to address internal streets, at the discretion of the Development Authority.

	Typologies	Location	Collector Street	Local Street
		Node		
Front Yard Setback	Apartment, Detached Dwelling, Duplex, Stacked Duplex, Stacked Townhousing, Townhousing, Commercial Block, Commercial Office Building, Inn, Mixed-Use Building, Single Structure Commercial Pad, Storefront, Strip Mall,	Min. 3.0m – Max. 4.5m Notwithstanding the maximum 4.5m setback, a front yard building setback may be increased when the space between the building and the lot line is used for a combination of landscaping or pedestrian features such as plazas, patios, and publicly accessible amenity areas, and is not used for parking to the satisfaction of the Development Authority.	Min. 6.0m – Max. 8.0m	
	Indoor Assembly, Public Service Building, School	At the discretion of the Development Authority.		
	Accessory Building, Backyard Dwelling	Not permitted within the front yard setback		
Rear Yard Setback	Detached Dwelling, Duplex, Stacked Duplex	Min. 6.0m		
	Apartment, Stacked Townhousing, Townhousing, Commercial Block, Commercial Office Building, Inn, Mixed-Use Building, Single Structure Commercial Pad, Storefront, Strip Mall,	Min. 6.0m Min. 6.0m plus 1.0m for every additional storey over 7.0m height when adjacent to Detached, Duplex, Stacked Duplex.		
	Indoor Assembly, Public Service Building, School	At the discretion of the Development Authority.		

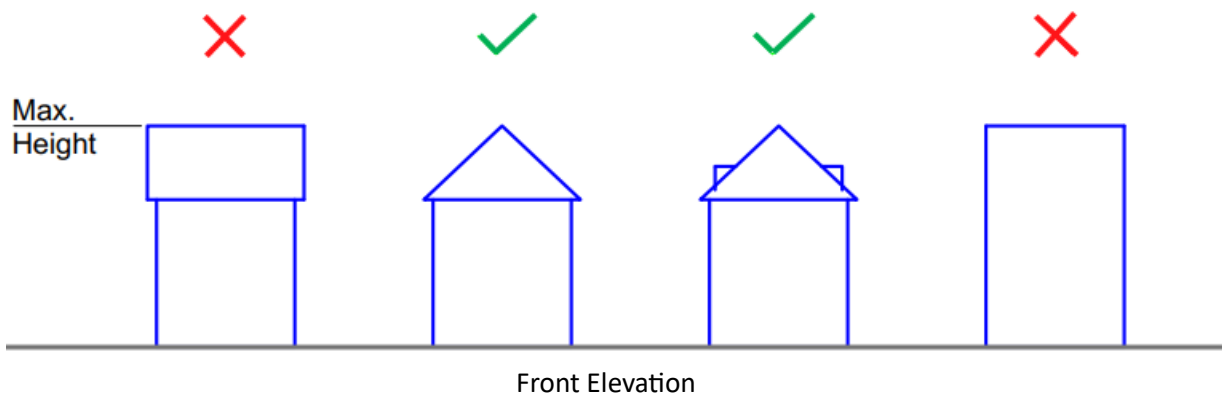
	Typologies	Location		
		Node	Collector Street	Local Street
	Accessory Building, Backyard Dwelling	Min. 1.0m		
Side Yard Setback	Detached Dwelling, Duplex, Stacked Duplex	Min. 1.2m Min. 3.2m for one side yard only, where that side yard is used to accommodate vehicular access to a rear detached garage.		
	Apartment, Townhousing, Townhousing, Commercial Block, Commercial Office Building, Inn, Mixed-Use Building, Single Structure Commercial Pad, Storefront, Strip Mall,	Min. 1.2m Min. 1.2m plus 3.8m for every additional storey over 8.0m height when adjacent to Detached, Duplex, Stacked Duplex.		
	Indoor Assembly, Public Service Building, School	At the discretion of the Development Authority.		
	Accessory Building, Backyard Dwelling	Min. 1.0 m		
	Front Flanking Yard	Apartment, Detached Dwelling, Duplex, Stacked Duplex, Stacked Townhousing, Townhousing, Commercial Block, Commercial Office Building, Inn, Mixed-Use Building, Single Structure Commercial Pad, Storefront, Strip Mall,	Max. 2.4m Notwithstanding the maximum 2.4m setback, a building setback may be increased when the space between the building and the lot line is used for a combination of landscaping or pedestrian features such as sidewalks, plazas, and publicly accessible amenity areas, and is not used for parking to the satisfaction of the Development Authority.	Min. 2.4m Where an attached garage or an attached carport provides vehicular access from the flanking street, the flanking side yard setback from the attached garage or attached carport facing the street shall be 4.5m where there is no sidewalk; or 6.0m from the edge of the sidewalk nearest the property line.
	Indoor Assembly, Public Service Building, School	At the discretion of the Development Authority.		
	Accessory Building, Backyard Dwelling	Min. 2.4m The flanking side yard setback for a detached garage or detached carport on a corner lot is 4.5m where there is no sidewalk; or 6.0m from the edge of the sidewalk nearest the property line.		
Principal Building Height	Apartment, Detached Dwelling, Duplex, Stacked Duplex, Stacked Townhousing, Townhousing, Commercial Block, Commercial Office Building, Inn, Mixed-Use Building, Single Structure Commercial Pad, Storefront, Strip Mall,	Max.13.0m	Max. 8.0m Max. 10.0m within North Pineview.	

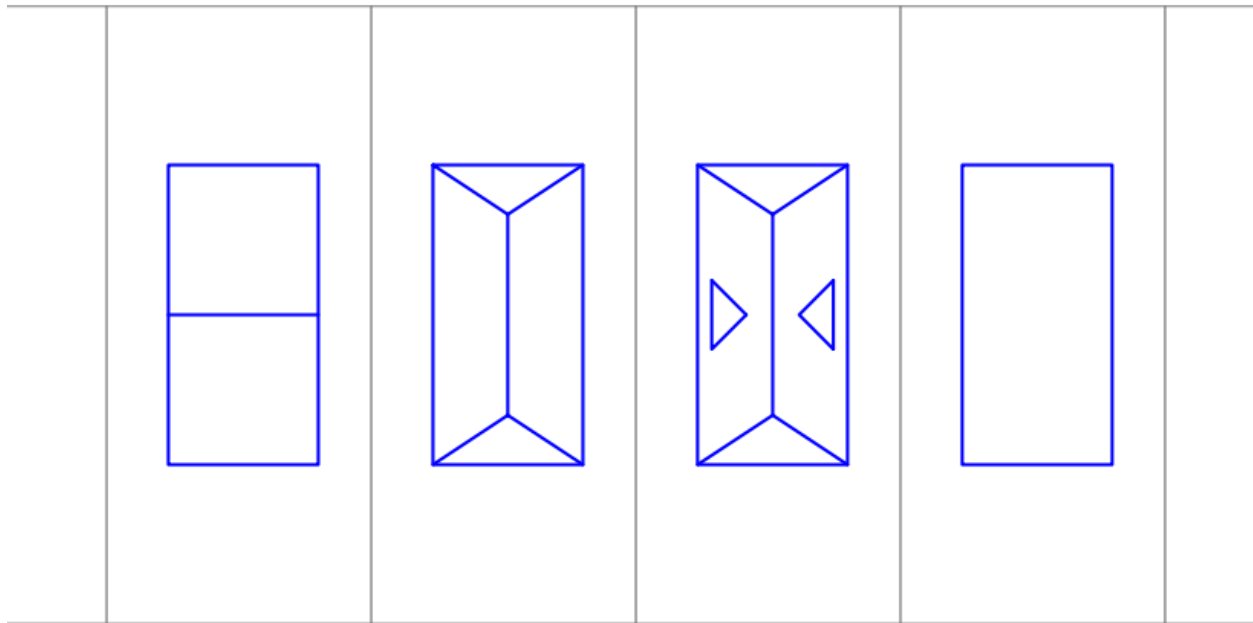
	Typologies	Location		
		Node	Collector Street	Local Street
	Indoor Assembly, Public Service Building, School	At the discretion of the Development Authority.		
	Accessory Building, Backyard Dwelling	Max. 5.0m with exterior walls not exceeding 3.0m.		
Density per Lot	Detached Dwelling, Duplex	Maximum 1 Principal Dwelling unit; plus up to a maximum of 1 Backyard Dwelling OR up to a maximum 1 Internal Secondary Suite		
	Stacked Duplex	Maximum 2 Principal Dwelling unit; plus up to a maximum of 1 Backyard Dwelling OR up to a maximum 1 Internal Secondary Suite		
Density per Shared Access Site	Apartment, Stacked Townhousing, Townhousing	Min. 30 du/nrha – Max. 70 du/nrha		
Site Coverage Total	Apartment, Detached Dwelling, Duplex, Stacked Duplex, Stacked Townhousing, Townhousing, Commercial Block, Commercial Office Building, Inn, Mixed-Use Building, Single Structure Commercial Pad, Storefront, Strip Mall,	Up to 80% all buildings and structures	Up to 50% all buildings and structures	
	Indoor Assembly, Public Service Building, School	At the discretion of the Development Authority.		
Common Amenity	Apartment and Mixed-Use	Minimum 4.5m ² per dwelling unit		
Private Amenity	Apartment and Mixed-Use	Minimum 3.0m ² per dwelling unit to be provided for balconies		

(7) BUILDING CHARACTER AND DESIGN

i. General

- a) Roofline shall be designed to maximize the sun penetration and/or minimize massing relative to the abutting sites, in accordance with the diagrams below.





Plan View

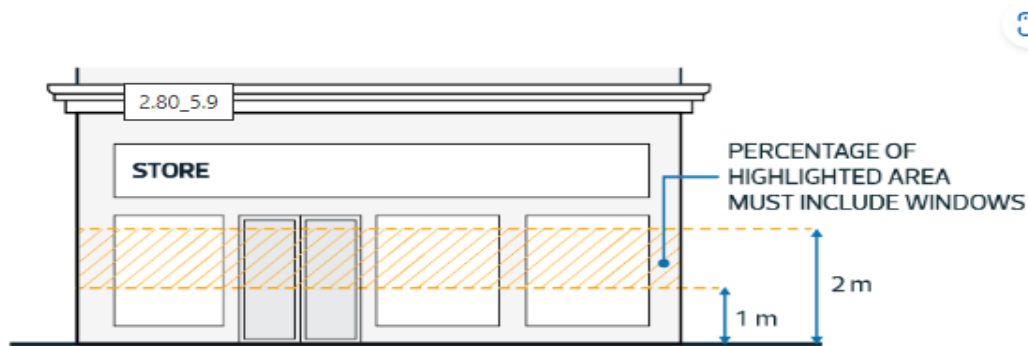
- b) New and redeveloping buildings shall have the same and/or complimenting materials, colours, and architectural details on all Facades exposed to public Streets, and parks and open spaces.
- c) Building Facades abutting public and quasi-public spaces and streets that exceed 12.0m in building length shall incorporate use of vertical elements such as decorative columns, variation in roofline, use of balconies and porches, and façade articulation (recessed and raised surfaces) to create variation and articulation in the facade and eliminate continuous blank walls.

ii. **Apartment, Detached Dwelling, Duplex, Stacked Duplex, Stacked Townhousing, and Townhousing**

- a) To ensure architectural interest, principal buildings shall incorporate a minimum four of following design elements on the facades to the satisfaction of the Development Authority:
 - a. Use of architectural treatments appropriate to the architecture style such as cornices, decorative columns and beams, canopies and lighting fixtures;
 - b. Use of bold window trims, soffits, muntin bars;
 - c. Use of building features such as clearly defined entryways, dormer window, bay windows, window shutters, balcony, porch, veranda, chimney shaft, promenades, to create articulation and interest;
 - d. Use of exterior materials of high quality and durable materials. Each building must have a minimum of 20% high quality accent material, such as, but not limited to stone, brick or decorative shingles;
 - e. Use of accent colour and/or contrast in finishing materials;
 - f. Use of premium soffits for roof overhang, vibrant colored front entry doorways, enhanced railing detailing on balconies and patios.
- b) Within nodes, Parking located at the side of the building shall have decorative screening and not exceed 40% parcel width at the front property line.

iii. Commercial Block, Commercial Office Building, Inn, Mixed-Use Building, Single Structure Commercial Pad, Strip Mall, and Store Front

- a) For new and redeveloped buildings a minimum of 60% of the ground floor façade area adjacent to public street, park and/or open space between 1.0m and 2.0m above grade shall be comprised of windows, doors, or transparent glazing.



- b) Parking shall be concealed within buildings with at grade active frontages, located at the rear of the building or located at the side of the building with decorative screening and increased landscaping.
- c) When a canopy or awning is to be installed it shall be a minimum of 0.6m from the building and will be located a minimum of 2.5m above grade.
- d) To promote pedestrian interactions and safety, ground floor facades must comply with the following:
- A minimum of 80% of all ground floor windows facing a street, park, or along facades with a main entrance facing a public area or parking area interior to the site must be clear and transparent. The remainder may be covered by non-transparent materials;
 - Facade articulation through architectural design and treatments such as cornices, decorative columns and beam, canopies and lighting fixtures;
 - Entrances to the multi-unit buildings shall incorporate weather protection features such as canopies, awnings, overhangs and recessed entrances.
- e) To ensure architectural interest for Mixed-Use Buildings, a minimum of three of following design elements on the facades to the satisfaction of the Development Authority:
- Use of bold window trims, soffits, muntin bars;
 - Use of building features such as dormer window, bay windows, window shutters, balcony, porch, veranda, chimney shaft, promenades, to create articulation and interest;
 - Use of exterior materials of high quality and durable materials. Each building must have a minimum of 20% high quality accent material, such as, but not limited to stone, brick or decorative shingles;
 - Use of accent colour and/or contrast in finishing materials;
 - Use of premium soffits for roof overhang, vibrant colored front entry doorways, enhanced railing detailing on balconies and patios.

iv. Accessory Buildings

- a) Minimum area for a Backyard Dwelling shall be 30.0 sq.m.

- b) Facades of Backyard Dwellings abutting a public street, lane, park and/or open space shall incorporate building materials, architectural style and treatment complimentary to the principal dwelling unit to the satisfaction of the Development Authority.

(8) CONSIDERATION FOR DISCRETIONARY BUILDING TYPES

The following considerations shall not limit the Development Planner's authority to exercise their general discretion in ensuring that all proposed developments demonstrate reasonable compatibility with the surrounding context. Instead, they provide a framework for balancing neighbourhood character preservation with opportunities for thoughtful, context-sensitive redevelopment.

i. Discretionary Uses

- a) When evaluating discretionary use applications, the Development Planner shall exercise discretion to ensure that proposed developments are reasonably compatible with their surroundings and preserve the neighbourhood's established character. All discretionary applications shall be assessed based on the following general principles:
 - a. The size, height, and massing of discretionary uses shall be context-sensitive and should not overwhelm or significantly alter the surrounding built form. The Development Planner may mitigate any massing effect through the use of lower roof pitch, orientation of roof lines;
 - b. Developments shall reflect the existing architectural rhythm of the neighbourhood, including building placement, orientation, and façade treatments;
 - c. Developments should contribute positively to the pedestrian environment by maintaining sidewalk continuity, enhancing public spaces, and ensuring safe, accessible connections to neighbourhood amenities.

ii. Duplex and Stacked Duplexes Development

- a) When reviewing applications for Duplexes and Stacked Duplexes, the Development Planner shall evaluate both functional and design considerations to ensure compatibility with the surrounding neighbourhood.
- b) The Development Planner shall assess the cumulative impact of driveways on the function and safety of Collector Street, considering the following factors:
 - a. Evaluate the number of existing driveways along the block face to ensure additional access points do not disrupt traffic flow, pedestrian safety, or on-street parking availability;
 - b. Ensure new driveways are appropriately spaced to minimize conflicts with existing access points and maintain the functionality of the Collector Street;
 - c. Review the proportion of existing Duplexes along the block to prevent overconcentration, maintaining the overall low-density character of the neighbourhood;
- c) A Duplex application may be refused if the cumulative impact of new driveways or the concentration of Duplexes is determined to negatively affect traffic flow, pedestrian safety, on-street parking capacity, or the intended character of the neighbourhood.
- d) Duplexes must be designed to reflect the appearance, design, and character of existing housing, ensuring consistency with the surrounding streetscape. In addition to any other discretionary considerations, the following design criteria shall be considered:
 - a. The Duplex must present a cohesive architectural style and massing; and

- b. The Duplex design must harmonize with adjacent Detached Dwelling by reflecting the scale, form, and visual character of the surrounding neighbourhood.
- c. On Local Streets, Duplexes must resemble a Detached Dwelling.

(9) OTHER REGULATIONS

All development and uses within this Land Use District are subject to the applicable provisions of Part 4 – General Regulations, Part ____ Parking and Loading, and Part ____ Signage.

i. Access

- a) For Detached Dwellings, Duplexes, and Stacked Duplexes, driveway widths at the front property line shall be regulated as follows:
 - a. Driveways providing vehicular access to the rear yard shall not exceed 4.0m in width.
 - b. For lots abutting a Collector Street, driveways providing access to a front or side attached garage or carport shall not exceed 5.4m in width.
 - c. For lots abutting a Collector Street with driveways providing access to the rear yard, the width of a driveway or parking area at the front property line shall not exceed 5.4m.

ii. Nodes & Comprehensively Planned Sites

- a) A Conceptual Site Development Plan or Overall Master Plan for the development area, or, if the Applicant is only developing a portion of the proposed development area, a Site Development Plan in relation to the portion to be developed in which the Applicant has also illustrated how the development will be integrated within the overall site design;
- b) The Conceptual Site Development Plan or Overall Master Plan is considered to be nonbinding, must identify the proposed building types, uses, and locations, development phasing, site accesses, vehicular and pedestrian routes, amenity areas, parking, and signage; and
- c) Details regarding the architectural guidelines proposed for the development, including design drawings illustrating the colour scheme, building materials, and theme.

iii. Applicability of the Regulations

- a) The regulations of this district are designed primarily for new developments and significant redevelopments of existing buildings. As such, existing buildings developed prior to the adoption of this Land Use Bylaw will not be considered non-conforming.
- b) For this District "significant redevelopment" refers to any development that includes an addition to the building's floor area.