

What We Heard Report

New Land Use Bylaw: Draft Downtown Gateway District Review

Residents' Workshops:

March 24: 5:00 PM - 8:00 PM

March 28: 3:00 PM - 7:00 PM



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Executive Summary

The City of Fort Saskatchewan is developing a new Land Use Bylaw (LUB) which includes the introduction of new, place-based Districts, such as the Downtown Gateway District. As part of this effort, the City conducted extensive public engagement with residents and business owners along 99 Avenue, between 101 Street and 108A Street from 98 Avenue to 99 Avenue, and in the area surrounding the old Hospital Site. The input gathered through this engagement helped inform the development of the draft Downtown Gateway District. This What We Heard Report summarizes the feedback received from participants.

The engagement process was designed to gather resident and business owner input on the proposed draft of a Downtown Gateway-specific regulatory framework. Feedback collected will inform updates to the draft District.

Engagement was advertised by delivering door-hangers containing details of the draft and engagement times to Downtown Gateway residents and business owners. Signs were also erected in the district area, and advertisements were taken out in the *Fort Record* and *Sturgeon Creek Post* newspaper.

The two engagement opportunities involved drop-in, one-on-one discussions between facilitators and attendees. Attendees had the opportunity to discuss the overall changes, ask any specific questions, log concerns, and submit feedback forms. Seven feedback forms were received.

The dedicated Downtown Gateway District webpage provided comprehensive information about the district including a narrated presentation, highlights of each Sub-Place Type, maps, and the draft Downtown Gateway District. The webpage provided an opportunity to provide feedback on the proposed draft. The online engagement period was open from March 17 to March 31, 2025. Residents reviewed materials and submitted feedback by email and through the Fort Report system. As of April 1, 2025, 0 residents submitted feedback via email and through Fort Report.

The feedback collected from in-person and online engagement is summarized in this report. This input will be used to inform updates to the draft Downtown Gateway District.

Project Introduction

The City of Fort Saskatchewan is creating a new Land Use Bylaw (LUB). The LUB is one of the most important Bylaws for a municipality. Most planning documents provide goals and objectives to be achieved, thus they plan for the future. The LUB is different in that it is a regulatory document. It regulates the use and development of land as it happens.

This What We Heard Report provides a summary of engagement sessions where the draft of the Downtown Gateway District was discussed. Administration hosted two drop-in engagement sessions. Both sessions were at the Dow Centennial Centre's Lion's Mane room. At these drop-in engagement sessions, the Project Team was available to answer any questions about the draft of the Downtown Gateway District and explain the Land Use Bylaw process.

A Downtown Gateway District summary webpage was also available as an online engagement opportunity for residents. The page featured maps, the draft District, and a presentation outlining key aspects of the district. The webpage provided an opportunity to submit feedback by email.

Our Approach

Methodology

Data Collection

Two drop-in engagement sessions were held at the Dow Centennial Centre's Lion's Mane room from 5:00 pm to 8:00 pm on March 24th and from 3:00 pm to 7:00 pm March 28th, 2025. These workshops were informal conversational opportunities for participants to clarify changes, ask questions, indicate their preferences, and provide additional feedback through feedback forms. A total of 11 residents signed in to the two sessions and 7 Feedback Forms were received.

An online engagement period ran concurrently, with submissions open from March 17th to March 31th, 2025. During this period, residents could access the summary presentation, maps, and draft regulations on the project website. Participants submitted feedback through email or the Fort Report system. Zero electronic submission responses received.

Data Analysis

All input gathered was quantified and categorized by themes to identify common concerns, preferences, and suggestions. Submissions were analyzed to create an understanding of resident perspectives. The summary analysis of comments was based on feedback forms received.

Promotional Activities

The workshops were promoted through:

- A total of 7 A-frame signs were placed within the Downtown Gateway District; (Appendix B)
- Door hangers delivered to residents and business owners of the Downtown Gateway District; and
- Advertisements in the *Fort Record* and *Sturgeon Creek Post* for the week of March 10 & 17.

Drop-in Engagement Sessions and Online Engagement

Drop-in sessions to gather feedback from residents were held at the Dow Centennial Centre Lion's Mane, on March 24 and 28 respectively. There was no limit to attendance, and individuals were welcome to drop in at their convenience between 5:00 pm and 8:00 pm on March 24 and 3:00 pm to 7:00 pm on March 28.

A total of 11 residents signed in to the two sessions.

The Drop-in sessions were informal, with Planners available to discuss the overall LUB process, the Downtown Gateway draft (Appendix C), drop-in engagement activities, and any other questions that arose.

Residents were encouraged to fill out Feedback Forms which were made available to the workshop attendees on every table and at the check-in counter.

Online engagement supplemented the in-person drop-in sessions. A short summary presentation and the draft Pineview District were posted online for residents' review and comments from March 17 to March 31, 2025. This information was posted on the City's website and promoted in the *Fort Record* and *Sturgeon Creek Post*. Residents were able to provide feedback on this material via email or through Fort Report. The Downtown Gateway District webpage was viewed 69 times as of April 28, 2025, with 0 residents submitting online feedback submissions.

Key Takeaways:

- From the feedback forms, participants generally seemed satisfied with provisions of the draft.
- 35% of submissions (2 out of 7 feedback forms) noted comments about presenting the information to the Downtown Business Community or involving the Chamber of Commerce.
- 48% of submissions (3 out of 7 feedback forms) noted positive comments about the workshop process, including the one-on-one engagement format and knowledgeable staff.
- 35% of submissions (3 out of 7 feedback forms) noted positive comments about the plan, including the introduction of commercial and residential opportunities which may create a livelier downtown and bring future growth.
- 35% of submissions (2 out of 7 feedback forms) indicated overall satisfaction with the draft regulations.

Comments Summary

Feedback Forms – Comments

A total of **7 of the 11 residents** (64% of attendees) that signed in submitted feedback forms. The comments have been categorized as they relate to the dominant themes: Building Regulations and Standards, Building Character and Design, District Format, Downtown Growth, Other Regulations, and Workshop Feedback. The entirety of the feedback comments can be found in Appendix A.

The word cloud below represents some of the most common words mentioned from the forms submitted.



Theme	Feedback
Building Regulations & Standards	A participant noted that the regulation with the draft (7.i) should be reworded to include “All the houses” instead of building. The participant also expressed interest in taller buildings within the Low-Density subarea, distinguishing between the two blocks. (1)
Building Character and Design	A participant noted that architectural regulations for new and redeveloped residential are too restrictive and wouldn’t be a great fit with the existing design elements of the neighbourhood and reduce the economic viability for redeveloped non-residential buildings into mixed-use buildings. (1)
Downtown Growth	Participants noted the importance of increasing commercial and residential opportunities to help the downtown thrive. (3)
District Format Other Regulations	A participant suggested that more illustrations should be included in the district. (1)
	A participant noted the importance of having engagement sessions but not about the new Land Use Bylaw. This participant is against 15 min cities/C-40 cities/smart

Theme	Feedback
	cities/communities. Fort Sask should be left alone to thrive without controlling measures. (1)
	A participant noted if there will be a viable marketing plan to coincide with the development plan. (1)
Workshop Feedback	Participants expressed thanks and indicated they believed the workshop was well-run. (5)
	Participants noted that communicating to and presenting to the Chamber of Commerce would support the business community. (2)

Appendix A: Feedback Forms

How did you hear about the Workshop?	The Venue for the Workshop was convenient.	Information provided at the Workshop was clear and easy to understand.	Opportunities to ask questions and give input were provided.	Do you have any suggestions for the Workshop format?	Do you have any comments that weren't included at the Workshop?
Staff member at work	Agree	Agree	Agree	LUB [sic] presentation at Chamber of Commerce directly supporting the business community.	As a downtown business, I was not aware of the LUB [sic] workshops, if it were not for a co-worker. Perhaps the Chamber could be used to communicate with the downtown businesses, or the City could communicate directly with the bsuinesses.
Door knocker/Social Media	Agree	Agree ABSOLUTELY	Agree ABSOLUTELY	Will the city ensure a viable marketing plan to coincide with the development plan? We feel this plan has been well thoughtout + holds lots of merit for future growth of the city. Well done plan!	None. Tiago + Shree [sic] were very knowledgeable ambassadors for the city.
Flyer placed ad door	Agree	Agree			
Newspaper	Agree	Agree	Agree		
Door Knocker	Agree For me, I'm wondering if it was for downtown residence?	Agree	Agree	No, it was informative. I appreciate the individual attention so I felt comfortable asking questions. Thank you for the opportunity to learn.	Perhaps offerring a location for downtown residence as not everyone drives. The plan seems sound, it makes sense. I would like to see more people living downtown which may bring more businesses + a livelier downtown. Thank you for offering decafe!
Newspaper	Agree	Agree	Agree	More info sessions would be great/more illustrations	It is good to have these sessions. But in regards to new Land Use Bylaw - please turn away from these things Totally against 15 min cities/C-40 cities/smart cities/communities - good to leave Fort Sask alone - it will thrive much more without these controlling measures.
Signs Hanger	Agree	Agree	Agree	Great job, team	8.b.ii is too restrictive. People should have more freedom when making design decisions. A lot of these design elements are common in the newer areas which isn't a great fit for the DGD. 8.f.i will reduce the economic viability of existing buildings being redeveloped as mixed use and we desperately need redevelopment. 8.f.ii.b - too restrictive 7.i All the houses Love commercial and would be very welcome to more houses. The area desperately needs people!

Appendix B: Sign Locations



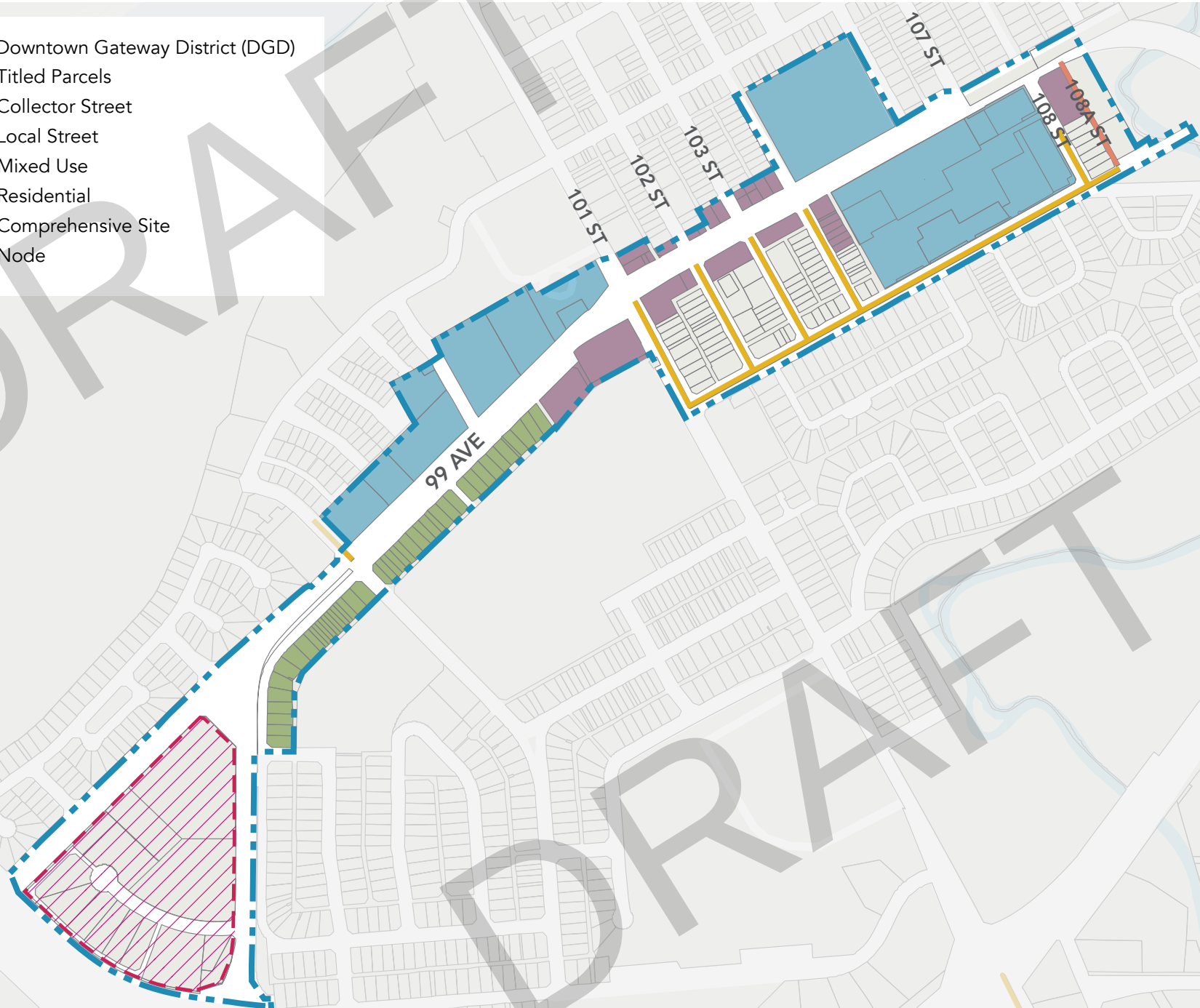
 - Sign Locations

Appendix C: Draft Materials

DRAFT ONLY

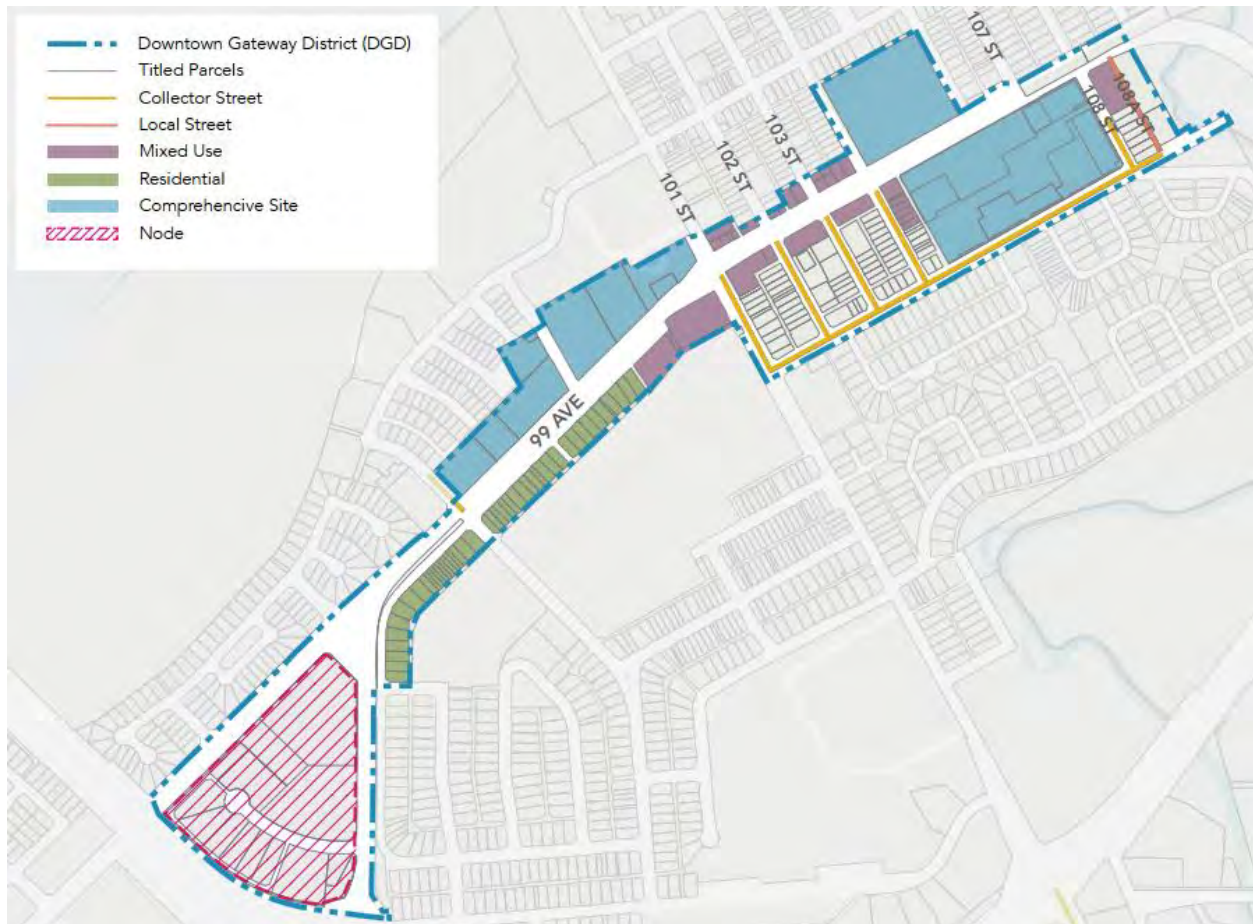
DGD - Downtown Gateway

-  Downtown Gateway District (DGD)
-  Titled Parcels
-  Collector Street
-  Local Street
-  Mixed Use
-  Residential
-  Comprehensive Site
-  Node



DGD – Downtown Gateway District

(1) MAP



(2) PLACETYPE

This placetype comprises residential and commercial areas along the 99 Avenue Corridor and adjacent downtown streets. The function of 99 Avenue is a major roadway and a future multi-modal route. It connects residents to the downtown and further to the city's industrial lands and therefore, acting as a gateway to these destinations. Downtown Gateway Placetype is surrounded by the Historic Downtown, Mature Neighbourhoods, and city's Historic Precinct

Currently, development within this placetype is predominantly vehicle oriented characterised by large parking lots or service road in the front of buildings that separates small scale commercial and residential from traffic on 99 Avenue. Residential development along the south side of the 99 Avenue is built-on traditional grid street network with small blocks and back alleys.

This area is home to a wide range of housing forms, retail and office commercial developments, and community services. The placetype is well connected to surrounding schools, parks, downtown core, historic precinct, and the River Valley are well-connected via the multi-purpose trail network.

(3) INTENT

i. **General Intent**

The Downtown Gateway District aims to transform the 99 Avenue Corridor into a vibrant, pedestrian oriented, multi-modal corridor with medium and high-density residential and mixed-use developments along existing commercial development. Low Density residential along 99 Avenue are to provide different low density housing options through backyard dwellings, infill development, and apartments up to 10 meters in height.

Comprehensive Sites and Nodes will accommodate highest residential concentration within downtown which will act as population base that supports downtown businesses Comprehensive Sites with underutilized parking lots are intended to be redeveloped into high-density residential and mixed-use developments. Development within nodes are to accommodate residential, commercial, mixed-use, and community services allowing for residents to live, work, shop, and gather within a walkable and integrated environment, fostering a sense of community and reducing reliance on automobile travel. This increased population will in turn benefit from the area's existing and future services, as well as the street and trail network.

Commercial and residential development along adjacent downtown collector streets are to be street-oriented allowing for a vibrant and pedestrian-friendly environment, with active frontages that enhance the streetscape and contribute to a sense of place. Collector and Local roads will serve as a transition zone from the higher intensity areas to adjacent low-density residential neighbourhoods.

ii. **Land Use Mix**

99 Avenue being arterial road will accommodate higher density residential and mixed-use buildings. Existing low density residential and commercial developments will co-exist until redevelopment is warranted and/ or initiated. The aim is to foster a transform brownfield and low density development into a placetype that accommodates high density residential and mixed-use opportunities that residents can live and work in close proximity. Residential developments should offer a variety of development which range from low density detached and duplex development to high density apartments and townhouse development. Mixed-use development can accommodate small-scale commercial shops such as coffee shops, pubs, salons, or similar establishments on the ground floor. Residential units are permitted to be above the ground floor or mixed-use buildings or as a separate structure. Buildings are required to be street oriented with reduced setbacks along Arterial and Collector roads emphasizing a pedestrian connection between the private and public realm. A Node exists at the underutilized and underdeveloped Old Hospital Lands. These areas can accommodate high intensification which will be planned comprehensively and designed to integrate residential, commercial, and mixed-use developments. Careful attention will be given to ensure transition to adjacent residential land uses are appropriately completed.

iii. **Form of Development and their Locations**

Higher density buildings with larger massing, including high-rise apartments, will be concentrated in the nodes. The node will feature high-density residential, commercial, and mixed-use buildings that bring urban vitality and diverse land use to the area. High-rise apartments will be strategically positioned along each road, with scaling and transitions provided by appropriate setbacks, creating a streetscape that balances building height with the pedestrian scale.

Along arterial streets, a mix of medium and high-density residential, commercial, and mixed-use developments, mid-rise apartments up to 21 meters, and high-rise apartments up to 40 meters, will be emphasized. Building heights will be scaled appropriately to create a pedestrian experience, with mid-rise buildings serving as a transition between high-rise structures and lower-density areas. Rear lanes will

separate loading and servicing areas from the main streetscape, further enhancing the pedestrian environment.

Collector streets will support low and medium-density residential, and compatible commercial uses, acting as transitional zones that bridge higher density areas with adjacent low-density neighborhoods. Smaller-scale, low-rise apartments and commercial developments are encouraged along each road to promote compatibility and cohesion with surrounding areas. Density, height, and massing will gradually decrease as development transitions from nodes and arterial streets to collector and local streets, with low-rise buildings providing appropriate scaling, creating a balanced, walkable urban landscape.

(4) BLOCK STANDARDS

(5) USES AND TYPOLOGY

- i. Abutting front attached garages and driveways for Detached Dwelling, Duplex, Stacked Duplex, Stacked Townhousing, and Townhousing must be paired together to limit number of accesses off a street.
- ii. Front attached garages and driveways for new and redeveloping Detached Dwelling, Duplex, Stacked Duplex, Stacked Townhousing, and Townhousing shall not be permitted off Collector and Arterial streets.
- iii. Fundamental Use Provision: The fundamental use provisions as requisite qualifiers for permitted and discretionary uses listed within section x_____ shall ensure:
 - a) That any Building Typology which includes drive-through service shall be considered neither Permitted or Discretionary.

P – Permitted Use

D – Discretionary Use (means use of a land or a building that may be authorized at the discretion of the Development Authority.)

Building Type	Requisite Qualifiers						
	DGD Locations						
	Nodes	Comprehensive Site	Mixed-Use	Residential	Collector Street	Local Street	Fundamental Use Provision (FUP)
Apartment	P	P	P	P	P	-	For Apartments in Residential Location, only one of the following FUPs must be met: a) That a Development Permit for an Apartment was approved prior to the coming of this Bylaw; b) The side yard or flanking yard of a parcel be adjacent to a road or lane; or c) That a parcel is adjacent to a parcel with a developed Apartment.
Backyard Dwelling	-	-	-	P	-	P	
Detached Dwelling	-	-	-	P	-	D	
Duplex	-	-	-	P	-	P	
Internal Secondary Suite	-	-	-	P	-	P	
Stacked Duplex	-	-	-	P	-	D	

P – Permitted Use

D – Discretionary Use (means use of a land or a building that may be authorized at the discretion of the Development Authority.

Building Type	Requisite Qualifiers						
	DGD Locations						
	Nodes	Comprehensive Site	Mixed-Use	Residential	Collector Street	Local Street	Fundamental Use Provision (FUP)
Stacked Townhousing	P	P	P	P	P	P	
Townhousing	P	P	P	P	P	P	
Commercial Block	P	P	P	-	P	-	
Commercial Office Building	-	P	P	-	P	-	
Inn	D	D	P	-	D	-	
Mixed Use Building	P	P	P	-	P	-	
Single Structure Commercial Pad	-	P	P	-	P	-	
Store Front	-	-	-	-	D	-	
Strip Mall	-	D	-	-	-	-	
Indoor Assembly	D	D	D	-	D	-	
Public Service Building	D	D	D	-	D	D	
School	-	D	D	-	D	-	
Community Garden	D	D	D	-	D	-	
Urban Agriculture	D	D	D	-	D	D	
Parks and Natural Areas	P	P	P	-	P	P	
Sign	P	P	P	-	P	D	

(6) LOT AND SUBDIVISION STANDARDS

- Lot widths and / or building typologies along a block frontage should be varied to allow for a variety of lot widths.
- To ensure the implementation of the City's ASPs and the MDP, each subdivision must adhere to the density thresholds defined in Section X _____ of this Land Use Bylaw and in compliance with the land use designations identified in the respective statutory plans.

	Typology	Node	Comprehensive Site	Mixed-Use	Residential	Collector Street	Local Street
Site Width	Detached Dwelling, Stacked Duplex	Without Lane: Min. 9.1m Corner Lot: Min. 10.3m. With Lane: Min 8.5m Corner Lot: 9.7m					
	Duplex, Stacked Townhousing, Townhousing,	At the discretion of the Subdivision Authority		Internal Lot: Min. 4.2m End Lot: Min. 5.4m Corner Lot: Min. 6.0m	Internal Lot: Min. 5.4m End Lot: Min. 6.8m	Internal Lot: Min. 5.4m End Lot: Min. 6.7m Corner Lot: Min. 7.9m	

	Typology	Node	Comprehensive Site	Mixed-Use	Residential	Collector Street	Local Street
					Corner Lot: Min. 7.3m		
	Apartment, Mixed-Use Building, Commercial Office Buildings, Inn, Strip Mall	At the discretion of the Subdivision Authority		Max. 100.0m	Max. 40.0m	At the discretion of the Subdivision Authority	
	Commercial Block, Store Front, Single Structure Commercial Pad,	At the discretion of the Subdivision Authority		Min. 9.1m Corner Lot: Min. 10.3m.			
	Public Service Building, Indoor Assembly, School, Park and Natural Area	At the discretion of the Subdivision Authority					
Site Depth	Apartment, Detached Dwelling, Duplex, Stacked Duplex, Stacked Townhousing, Townhousing, Commercial Block, Commercial Office Buildings, Inn, Mixed-Use, Single Structure Commercial Pad, Store Front, Strip Mall, Indoor Assembly, Public Service Building, School, Park and Natural Area	At the discretion of the Subdivision Authority		Min. 30.0m			

(7) BUILT FORM AND SITING

- i. Vehicular access to the building shall be from the lane where lane is available.

		Location					
		Nodes	Comprehensive Site	Mixed-Use	Residential	Collector Street	Local Street
Front Yard	Detached Dwelling, Duplex, Stacked Duplex, Stacked Townhousing, Townhousing, Apartments, Mixed-Use Building, Commercial Office Buildings, Inn, Single Structure Commercial Pad, Strip Mall,	Max. 4.5m when abutting a street Internal building setback at the discretion of the Development Authority.	Max. 4.5m when abutting a street Internal building setback at the discretion of the Development Authority.	Max. 4.5m	With Lane: Min. 3.0m – Max. 4.5m	With Lane: Min. Max. 4.5m Without Lane: Max. 7.0m	Without Lane: Min. 3.0m – Max. 7.0m
	Backyard Dwelling	Not permitted within a Front Yard Setback					

		Location					
		Nodes	Comprehensive Site	Mixed-Use	Residential	Collector Street	Local Street
	Commercial Block, Store Front	Max. 3.0m					
	School, Community Garden, Indoor Assembly, Public Service Building,	At the discretion of the Development Authority					
Rear Yard	Detached Dwelling, Duplex, Stacked Duplex, Stacked Townhousing, Townhousing	Without Lane: Min. 8.0m With Lane: Min. 6.0m Setbacks for may be reduced to 0.0m to address internal streets, at the discretion of the Development Authority.					
	Backyard Dwelling	With Lane: Min. 1.2 m Without Lane: Min. 1.0m					
	Apartments, Mixed-Use Building, Commercial Office Buildings, Commercial Block, Inn, Single Structure Commercial Pad, Strip Mall, Store Front,	Min. 4.5m for buildings up to 15.0m in height. Min. 5.0m for buildings over 15.0m and up to 18.0m in height. Min. 5.0m plus 0.5m for every additional 3.0m increase of height for buildings over 18.0m height.			Abutting Lane: Min. 4.5m Without Lane: Min. 6.0m		
	School, Community Garden, Indoor Assembly, Public Service Building,	At the discretion of the Development Authority					
Side Yard	Detached Dwelling, Duplex, Stacked Duplex, Stacked Townhousing, Townhousing	Min. 1.2m Setbacks for may be reduced to 0.0m to address internal streets, at the discretion of the Development Authority.			Min. 1.5m	Min. 1.2m	
	Backyard Dwelling	-			Min. 1.5m	Min. 1.2m	
	Apartments, Mixed-Use Building, Commercial Block, Commercial Office Buildings, Inn, Single Structure Commercial Pad, Strip Mall,	Min. 1.5m for buildings up to 9.0m in height. Min. 2.0m for buildings over 9.0m up to 12.0m in height. Min. 2.0m plus 1.0m for buildings over 12.0m height, plus 1.0m for every 3.0m increase in height Min. 6.0m for buildings over 20.0m					
	Store Front	Max. 1.5m					

		Location					
		Nodes	Comprehensive Site	Mixed-Use	Residential	Collector Street	Local Street
	School, Community Garden, Indoor Assembly, Public Service Building,	At the discretion of the Development Authority.					
Accessory Building	Front Yard	Not permitted within front yard setback.					
	Rear Yard	Min. 1.0m Min. 1.2m Detached Garage					
	Side Yard	Min. 1.0m					
	Building Height	Max. 5.0m Max. 7.5m Backyard Dwelling					
	Site Coverage	15%					
Principal Building Height	Apartment, Detached Dwelling, Duplex, Stacked Duplex, Stacked Townhousing, Townhousing, Commercial Block, Commercial Office Buildings, Inn, Mixed-Use, Single Structure Commercial Pad, Store Front, Strip Mall, Indoor Assembly, Public Service Building, School	Max. 40.0m. Buildings over four storeys shall provide appropriate transitions in height, scale and massing to adjacent sites.	Max. 25.0m Buildings over four storeys shall provide appropriate transitions in height, scale and massing to adjacent sites.	Max. 21.0m	Max. 10.0m	Max. 13.5m	Max. 10.5m
Site Coverage	Detached Dwelling, Duplex, Stacked Duplex, Townhouses, Stacked Townhouses	Max 80% of all buildings and structures on site (including accessory)			Max 65% of all buildings and structures on site (including accessory)		
	Apartment, Commercial Block, Commercial Office Buildings, Inn, Mixed-Use, Single Structure Commercial Pad, Store Front, Strip Mall, Indoor Assembly, Public Service Building, School	Max 80%			Max 60%	Max 80%	
Density	Detached Dwelling, Duplex,	Max 1 Principal Dwelling unit plus up to a maximum of 2 Backyard Dwelling units					

		Location					
		Nodes	Comprehensive Site	Mixed-Use	Residential	Collector Street	Local Street
	Stacked Duplex, Townhouses, Stacked Townhouses						
	Duplex, Stacked Duplex, Townhouses, Stacked Townhouses (Multi-Unit Site)	Min. 40 units/net residential hectare					
	Apartment, Mixed-Use Building	Min. 100 units/net residential hectare				Min. 40 units/net residential hectare	
Common Amenity	Apartment and Mixed-Use	Minimum 4.5m ² per dwelling unit					
Private Amenity	Apartment and Mixed-Use	Minimum 3.0m ² per dwelling unit to be provided for balconies					

(8) BUILDING CHARACTER AND DESIGN

a) General

- i. New and redeveloping buildings should have the same materials, colours, and architectural details on all facades exposed to public streets (excluding lane), and parks and open spaces.
- ii. The size, location, design, character and appearance of any building or structure requiring a development permit shall be acceptable to the Development Authority having due regard to:
 - a) The policies and objectives contained within the municipality's statutory plans;
 - b) Other City plans, standards, and guidelines; and
 - c) Other factors, such as daylight, sunlight and privacy.
- iii. New and redeveloped building facades abutting public and quasi-public spaces and streets that exceed 12.0m in building length; shall incorporate use of vertical elements such as decorative columns, variation in roofline, use of balconies and porches, and façade articulation (recessed and raised surfaces) to create variation and articulation in the facade and eliminate continuous blank walls.
- iv. New and redeveloped buildings taller than 15m in height shall incorporate a step-back from front property line to address massing, sun penetration, shadowing and wind funnel impacts at the pedestrian level to the satisfaction of the Development Authority.
- v. To ensure a visually stimulating and welcoming development that indicates arrival into the Downtown, building and urban design at the intersection of 101 Street and 99 Avenue shall incorporate enhanced lighting, landscaping, masonry facades, and public art that reflect symbology of community pride to the satisfaction of the Development Authority.
- vi. Residential Sales Centres may be approved for a maximum of 5 years. Subsequent Development Permits for Residential Sales Centres on the same Site may only be issued as a Discretionary Development.

b) Detached Dwelling, Duplex, Stacked Duplex, Stacked Townhousing, Townhousing

- i. Principal buildings with similar or mirrored front elevations must be separated by a minimum of two lots along the same side of the street or internal street, unless the finishing materials, architectural styles and treatments are substantially different in the opinion of the Development Authority.
- ii. To ensure architectural interest, all units of new and redeveloped principal buildings shall incorporate a minimum three of following design elements on the facades to the satisfaction of the Development Authority
 - a) Use of bold window trims, soffits, muntin bars
 - b) Use of building features such as clearly defined entryways, dormer window, bay windows, window shutters, balcony, porch, veranda, chimney shaft, promenades, to create articulation and interest.
 - c) Use of exterior materials of high quality and durable materials. Each unit must have a minimum of 20% high quality accent material, such as, but not limited to stone, brick or decorative shingles.
 - d) Use of accent colour and/or contrast in finishing materials
 - e) Use of premium soffits for roof overhang, vibrant colored front entry doorways, enhanced railing detailing on balconies and patios.

c) Accessory Building

- i. Minimum area for a Backyard Dwelling shall be 30.0 sq.m.
- ii. Facades of garden and garage suite abutting a public street, lane, park and/or open space shall incorporate building materials, architectural style and treatment complimentary to the principal dwelling unit to the satisfaction of the development authority.

d) Apartment

- i. To ensure architectural interest, all units of new and redeveloped principal buildings shall incorporate a minimum four of following design elements on the facades to the satisfaction of the Development Authority
 - a) Use of architectural treatments appropriate to the architecture style such as cornices, decorative columns and beams, canopies and lighting fixtures.
 - b) Use of bold window trims, soffits, muntin bars
 - c) Use of building features such as clearly defined entryways, dormer window, bay windows, window shutters, balcony, porch, veranda, chimney shaft, promenades, to create articulation and interest.
 - d) Use of exterior materials of high quality and durable materials. Each building must have in addition to vinyl siding as a primary treatment, each unit must have a minimum of 20% high quality accent material, such as, but not limited to stone, brick or decorative shingles.
 - e) Use of accent colour and/or contrast in finishing materials
 - f) Use of premium soffits for roof overhang, vibrant colored front entry doorways, enhanced railing detailing on balconies and patios.

e) Mixed-Use Buildings

- i. For new and redeveloped principal buildings, a minimum of 60% of the ground floor façade area adjacent public street, park and/ or open space between 1.0m and 2.0m above grade and shall be comprised of windows, doors, or transparent glazing.
 - ii. To promote pedestrian interaction and safety, ground floor of new and redeveloped mixed-use facades in comprehensive sites must comply with the following:
 - a) A minimum of 80% of all ground floor windows must be clear and transparent. The remainder may be covered by non-transparent material.
 - iii. To ensure architectural interest, new and redeveloped mixed-use buildings shall incorporate a minimum of three of the following design elements on the facades to the satisfaction of the Development Authority
 - a) Use of exterior materials of high quality and durable materials. Use of a minimum of 20% high quality accent material, such as, but not limited to stone, brick or decorative shingles.
 - b) Use of accent colour and/or contrast in finishing materials
 - c) Use of architectural treatments appropriate to the architecture style such as cornices, decorative columns and beams, canopies and lighting fixtures.
 - d) Use of building features such as clearly defined entryways, dormer window, bay windows, window shutters, balcony, porch, veranda, chimney shaft, promenades, to create articulation and interest.
 - e) Use of bold window trims, soffits, muntin bars.
- f) Commercial Block, Commercial Office Building, Inn, Mixed Use Building, Single Structure Commercial Pad, Store Front, Strip Mall, Indoor Assembly, Public Service Building**
- i. For new and redeveloped principal buildings, a minimum of 60% of the ground floor façade area adjacent public street, park and/ or open space between 1.0m and 2.0m above grade and shall be comprised of windows, doors, or transparent glazing.
 - ii. To promote pedestrian interaction and safety, ground floor of new and redeveloped non-residential facades in comprehensive sites must comply with the following:
 - a) A minimum of 80% of all ground floor windows must be clear and transparent. The remainder may be covered by non-transparent material.
 - b) Façade articulation through architectural design and treatments such as cornices, decorative columns and beam.
 - c) Barrier free access for users with physical or mobility disabilities.
 - iii. Architecture and building design shall compliment the surrounding area, be visually appealing, human scale appropriate, and contribute to the pedestrian's sense of safety and comfort to the satisfaction of the Development Authority.
 - iv. Entrances to the new and redeveloped multi-unit buildings shall incorporate weather protection features such as canopies, awnings, overhangs and recessed entrances.

(9) OTHER REGULATIONS

a) Site Connectivity

- i. Walkways for pedestrians shall be accommodated throughout the site and shall provide connections to the City's trail system.

- ii. A pedestrian circulation plan for each development shall be submitted prior to approval of a development permit. This plan shall provide for pedestrian connections between developments such that potential conflict between pedestrians and vehicles is minimized.

b) Access

- i. Where a Site abuts a Lane at the Reat Lot Line, access must be from the Lane except that:
- ii. Vehicle accesses may be from a street for a maximum of 50% of principal dwellings per Site, not including Lane Dwellings.

c) Parking Regulations

- i. Parking shall be concealed within buildings with at grade active frontages, located at the rear of the building or located at the side of the building with decorative screening and increased landscaping.

d) Urban Agriculture

- i. Urban Agriculture within single, semi-detached and row housing development shall not account to majority of the land use within a Principal Building.
- ii. Area of personal garden shall be limited to maximum 30% of a total permeable area in the front yard.
- iii. Where personal gardens are located within a side yard, a minimum of 1.0m clearance must be maintained from the principal building.
- iv. Community gardens are permitted within multi-unit, apartment, mixed use, and community use developments to the satisfaction of the Development Authority.
- v. Urban Agriculture shall not be the only use located within a principal building.

e) Landscaping

- i. Landscaping on the site shall be in accordance with Section X _____ of this Bylaw.
- ii. For non-residential and mixed-use sites, a minimum of 20% of the total site area shall be landscaped, including all areas not occupied by buildings, parking areas or vehicular access areas. One tree for each 25.0m² and one shrub for each 10.0m² of landscape area shall be provided.
- iii. Front/Side Yards may be finished with xeriscape treatments that provide an outdoor maintenance free property.
- iv. Front/Side Yards may be finished with Low Impact Development treatments that may include Bioswales, Rain Gardens, Permeable Pavement, or other green infrastructure alternatives.

f) Fences, Walls and Hedges

- i. Fences, walls and hedges in this district shall be in accordance with the Section x.x of this bylaw.

g) Nodes & Comprehensively Planned Sites

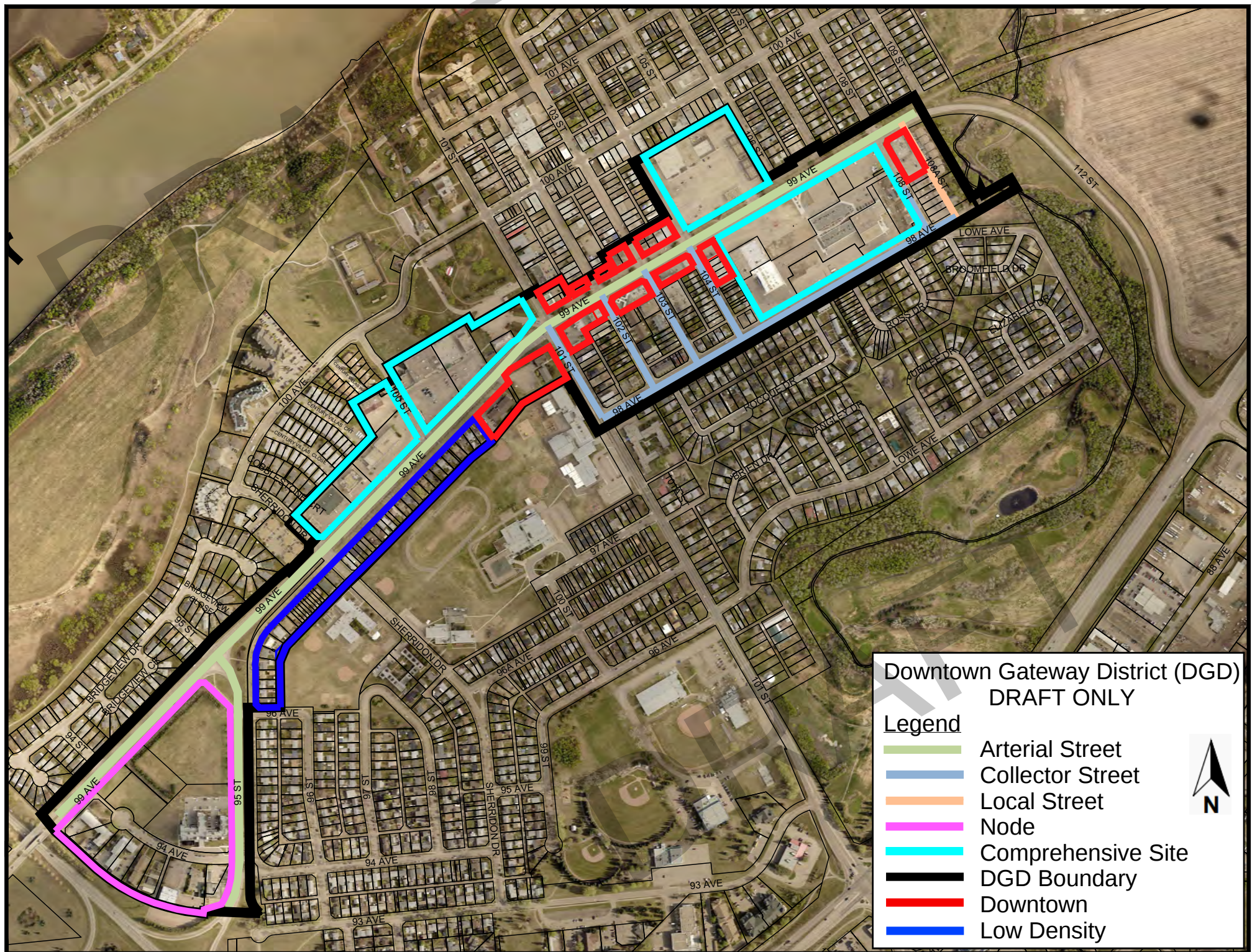
- i. In addition to the application requirements of Section X _____ of this Bylaw, an Applicant must submit to the satisfaction of the Development Authority:
 - a) A Conceptual Site Development Plan or Overall Master Plan for the development area, or, if the Applicant is only developing a portion of the proposed development area, a Site

Development Plan in relation to the portion to be developed in which the Applicant has also illustrated how the development will be integrated within the overall site design;

- b) The Conceptual Site Development Plan or Overall Master Plan is considered to be nonbinding, must identify the proposed building types, uses, and locations, development phasing, site accesses, vehicular and pedestrian routes, amenity areas, parking, and signage; and
- c) Details regarding the architectural guidelines proposed for the development, including design drawings illustrating the colour scheme, building materials, and theme.

h) Applicability of the Regulations

- a) The regulations of this district are designed primarily for new developments and significant redevelopments of existing buildings. As such, existing buildings will not be considered non-conforming.
- b) For this District "significant redevelopment" refers to any development that includes an addition to the building's floor area or improvements to the facade facing a public street that exceed 50% of the facade's surface area.



Residential

Apartment: means a building containing multiple dwelling units, designed for residential use, and does not conform to the definition of any other Residential Use Class.

Backyard Dwelling: means a self-contained, secondary residential dwelling unit located on the same lot as a principal dwelling, situated behind the primary residence, and within the rear yard area. These units may be attached to or detached from an accessory structure such as a garage, and they include forms such as laneway homes on corner lots, garage suites, or carriage houses. Backyard Dwelling is intended to provide independent living quarters, including sleeping, cooking, and sanitation facilities, while remaining subordinate to the principal dwelling."

Detached Dwelling: means a single, freestanding building to facilitate habitation for its occupants and accommodating one principal dwelling unit. This building type is characterized by its separation from other permanent structures, having open space on all sides, and typically includes ancillary spaces and objects (such as driveways, sidewalks, gardens, or yards) that are integral to residential use.

Duplex: means a single building divided into two dwelling units, separated by a vertical demising wall, designed for residential use, each facilitating habitation for its occupants. The structure is surrounded by open space on all sides, and typically includes ancillary spaces or developments (such as driveways, sidewalks, gardens, or yards) that are integral to residential use.

Internal Secondary Suite: means a secondary, self-contained residential dwelling located within the structure of the principal residential dwelling. This unit provides independent living quarters, including facilities for cooking, sleeping, and sanitation, and may be located on any floor of the principal dwelling, including but not limited to basements, attics, or other internal spaces. The unit remains subordinate to the principal dwelling and is intended to function as an additional, independent living space.

Stacked Duplex: means a single structure designed for residential use, intended to facilitate habitation for its occupants, with two principal dwelling units arranged vertically. The building type is characterized by each unit's individual and separate access. The structure is surrounded by open space on all sides, and typically includes ancillary spaces or objects (such as driveways, sidewalks, gardens, or yards) that are integral to the residential use.

Stacked Townhousing: means a building that is comprised of four or more dwelling units designed for residential use, each facilitating habitation for its occupants. Dwelling units are arranged with at least one dwelling unit located totally or partially above another dwelling unit. All dwelling units shall have a separate, direct entrance from the exterior, ensuring individual access for each unit.

Townhousing: means a building that contains 3 or more small-scale units designed for residential use, each facilitating habitation for its occupants. Units are joined in whole or in part at the side, the rear, or the side and the rear, with none of the units being placed over another. Each unit has separate, individual, and direct access to ground level.

Commercial

Large Scale Retail Centre: means a structure purposefully designed with a minimum footprint of 5,000 square meters to accommodate consumer-facing operations. The built form is characterized by its capacity for significant space to accommodate a large quantity of goods and services readily accessible by customers. Such a facility is typically standalone and incorporates the infrastructure needed to support high-volume customer traffic and large-scale retail functions. Large Scale Retail Centre includes the following activities: Business Support Services, Warehouse Sales, Indoor Recreation, and General Retail.

Single Structure Commercial Pad: means a standalone, single-occupant building characterized by a smaller footprint and scale compared to a Large Scale Retail Centre. Designed to support a variety of commercial and service-oriented uses, this structure is typically adaptable to businesses and services requiring individual access, efficient operational space, and customer interaction. The building accommodates the following activities: Brewery, Winery, and Distillery; Business Support Services; Community Service Facilities; Custom Manufacturing Establishments; Eating and Drinking Establishments; Entertainment Facilities; Government Services; Greenhouse; Health Services; Personal Services; Pet Care Services; Personal Service; Professional and Financial Offices; Indoor Recreation Centres; General Retail; Commercial Schools; Childcare Facilities; Places of Worship; and Veterinary Clinics.

Strip Mall: means a low-rise commercial structure containing two or more front-facing units, each designed to accommodate a range of independent businesses and services. These units are typically aligned in a linear configuration, sharing common parking and pedestrian access, and are accessible directly from the exterior. Strip Mall includes the following Activities: Brewery, Winery, and Distillery; Business Support Services; Childcare Services; Commercial Schools; Community Service Facilities; Custom Manufacturing Establishments; Eating and Drinking Establishments; Entertainment Facilities; Government Services; Health Services; Personal Services; Pet Care Services; Professional and Financial Offices; Indoor Recreation Centres; General Retail; and Veterinary Clinics.

Storefront: means a single-story building, which may include a mezzanine, designed specifically for ground-floor retail or service uses that prioritize pedestrian access and engagement. This structure is characterized by its Pedestrian-Priority Frontage, offering direct access and visibility from public walkways to encourage foot traffic and street-level interaction. Intended to accommodate pedestrian-focused and street-oriented functions, the storefront provides a conducive space for small-scale shops and services. A Storefront accommodates the following activities: Brewery, Winery, and Distillery; Business Support Service; Community Service Facility; Eating and Drinking; Entertainment Facility; Government Service; Health Service; Personal Service; Pet Care Service; General Retail; and Veterinarian.

Commercial Block: means a multi-storey structure designed for a vertical mix of commercial and service-oriented functions, prioritizing Pedestrian-Friendly Frontage. The ground floor is reserved for retail or service uses that engage directly with public walkways, enhancing street-level activity through easy access and high visibility. Upper floors accommodate business support services, professional offices, health services, and other functions with similar land use impacts. The building supports a variety of small-scale shops and services that contribute to an active and

vibrant streetscape. Activities within a Commercial Block include: Business Support Services, Childcare Facilities, Commercial Schools, Community Services, Eating and Drinking Establishments, Entertainment Facilities, Government Services, Health Services, Professional and Financial Offices, and Personal Services.

Commercial Office Building: means a multi-story structure designed exclusively for non-residential activities across all floors. These buildings are designed to accommodate a range of non-residential activities. Floors are configured for flexible office layouts to accommodate non-residential functions. Activities include business support services; commercial schools; eating and drinking establishments; health services; personal services; professional, financial, and office services; and general retail (convenience and general).

Mixed Use Building: means multi-storey structure designed to integrate a vertical mix of commercial, service, and residential functions, with residential units above the ground floor and an emphasis on pedestrian-priority frontage at the ground level. The ground floor is reserved for retail or service uses, providing direct access and visibility from public walkways to enhance foot traffic and foster street-level engagement. Upper floors are dedicated to residential uses. Live/Work units must ensure a pedestrian-priority frontage is maintained. A Mixed Use Building includes the following Activities: Above Ground Floor Housing, Childcare Facilities, Eating and Drinking Establishments, Health Services, Live/Work Units, Personal Services, Professional and Financial Offices, and General Retail.

Inn: means a development dedicated to provide guest rooms or suites for a range of stay durations. The built form typically includes shared amenities which may include concierge services, cleaning services, meeting rooms, dining facilities, and other guest or resident services. This development is designed to cater to travelers, tourists, and those requiring longer-term accommodations, including supportive housing, assisted living, or temporary housing. Typical examples include hotel, motel, or apartment hotel.

Industrial

Office Industrial Building: means a low- to mid-rise building designed to accommodate a combination of professional, research, and testing functions within a unified structure. These buildings are characterized by their adaptable, utilitarian design that supports both knowledge-based office work and industrial support activities. Activities include: Business Support Services; Professional and Financial Offices; Health Services, Contractor Services; Eating and Drinking Establishments, Government Services, and Commercial Schools.

Light Industrial Building: means a building specifically designed to support a range of industrial or commercial activities whereby any adverse effects are contained to the building itself. Activities include:

- a) Processing of raw or finished materials;
- b) Manufacturing or assembly of goods, products, or equipment;
- c) Cleaning, servicing, repairing, or testing of materials, goods, and equipment associated with industrial, commercial, or household use, where operations present impacts typically incompatible with non-industrial Land Use Districts;

- d) Storage or transshipment of materials, goods, and equipment;
- e) Distribution and sale of materials, goods, and equipment directly to institutions, industrial, and commercial businesses, or for resale by General Retail Stores or other sales Use Classes as defined in this Bylaw;
- f) Training of personnel in general industrial operations.

Excluded from this definition are Cannabis Production and Distribution Facility, Retail Store (Cannabis), and any other cannabis-related uses, focusing on a broad spectrum of light industrial activities that contribute to the economic fabric without extending to the retail of controlled substances.

Industrial Flex Building: means a building designed with individual units, featuring rear loading areas and front office and/or customer access. Units within the building are allocated for a combination of functions: the back portion for warehousing, manufacturing, or similar light industrial activities, and the front portion for office spaces and customer service areas. This layout supports operational needs for light industrial processes, including manufacturing, warehousing, repair, testing, and logistics, alongside administrative and customer-facing functions. The design facilitates efficient use of space for businesses that engage in both production and client services within the same premises. Activities include: Brewery, Winery, and Distillery; Commercial School; Custom Manufacturing; Entertainment Facility; General Industrial; Kenel; Private Club; Professional, Financial and Office; Recycling Facility; Storage Facility; Vehicle Repair; Warehouse Sales, Warehouse Distribution and Storage; and Veterinarian.

Light Industrial Development: A development characterized by the parking, or storage of goods, materials, or equipment that does not require any permanent building or significant structure on-site. Activities include outdoor storage, parking facilities, and recycling depots. Despite the absence of buildings, any potential external impacts such as noise, odour, or dust must be managed to ensure they do not extend beyond the developed area. Outdoor areas must be screened or enclosed where necessary to minimize visual and environmental impact.

Medium Industrial Building: A building designed to facilitate a variety of industrial or commercial activities, whereby any objectionable, hazardous, or externally perceptible conditions do not extend beyond the site boundaries. Functions associated with this use include:

- a) Processing of raw or finished materials;
- b) Manufacturing or assembly of goods, products, or equipment;
- c) Cleaning, servicing, repairing, or testing of materials, goods, and equipment for industrial, commercial, or household purposes, specifically designed to contain impacts within industrial Land Use Districts;
- d) Storage or transshipment of materials, goods, and equipment;
- e) Distribution and sale of materials, goods, and equipment to institutions or industrial and commercial businesses, or for resale by General Retail Stores or other defined sales Use Classes;
- f) Training of personnel in general industrial operations.

Excluded from this definition are Cannabis Production and Distribution Facility, Retail Store (Cannabis), and any other cannabis-related uses, maintaining a focus on a broad range of industrial activities that do not extend undesirable effects beyond the site.

Medium Industrial Development: means a development characterized by the processing, manufacturing, assembling, parking, or storage of goods, materials, or equipment that does not require any permanent building or significant structure on-site. Activities include outdoor storage, parking facilities, and recycling depots. Despite the absence of buildings, any potential external impacts such as noise, odour, or dust must be managed to ensure they do not extend beyond the site boundaries.

Heavy Industrial Development: means the processing, manufacturing, or compounding of materials, products, or energy, or any industrial activities which because of their scale or method of operation regularly produce noise, heat, glare, dust, smoke, fumes, odors, vibration, or other external impacts detectable beyond the lot lines of the property. Heavy industrial uses can regularly employ hazardous material or procedures or produce hazardous by-products, include outdoor storage areas, and may have activities that take place outside of structures.

Civic

Indoor Assembly: means a building designed for the gathering of individuals to conduct organized services, meetings, events, or programs that serve to benefit, educate, entertain, or promote discourse among participants. Such facilities may be used in both public and private capacities. Activities include: community centres, places of worship, funeral homes, meeting or lecture halls, exhibition rooms, theatres, halls, and auditoriums.

School: A building or group of buildings designed for public assembly, intended for the purpose of public education, training, or instruction. The built form is typically characterized by large, adaptable spaces such as classrooms, lecture halls, laboratories, and recreational facilities, all structured to accommodate various educational activities. The building may also include specialized areas administrative offices or portable additions required to support the adaptability and/or support functions. Schools are designed with general public use in mind and are generally equipped with infrastructure to support large groups, such as auditoriums, libraries, and sports facilities. Activities include public and separate primary and secondary schools, community colleges, universities, and technical and vocational schools. This use specifically Commercial Schools. This definition is not exclusive to any School Board; the use of the word “public” is not an inference any particular school board.

Public Service Building: means a building or group of buildings designed to accommodate public functions and services that serve the community at large. These structures are typically designed for durability, accessibility, and efficiency, ensuring that they can support a wide range of public-oriented activities. Public Service buildings may include fire halls, police stations, libraries, city halls, hospitals, and other government or emergency response facilities. The built form typically incorporates specialized spaces such as emergency response bays, public assembly rooms, administrative offices, and service counters. Activities include: Community Service Facilities, Emergency Response, Government Services, and Hospitals.

Urban Agriculture and Sustainability

Agriculture: means the raising of crops or the rearing of livestock, either separately or in conjunction with one another. Typical functions include farming, horticulture, apiculture, and silviculture. It does not include minor intensive livestock agriculture, intensive horticulture agriculture, or any cannabis-related uses, such as Cannabis Production and Distribution Facilities or Retail Stores (Cannabis).

Renewable Energy Installation: means a standalone development dedicated to the generation, storage, and distribution of renewable energy from sources such as solar, wind, or geothermal energy. This use operates independently and may include facilities such as solar farms, wind energy systems, or other renewable energy systems that are not tied to any other principal building or use.

Community Garden: A shared area of land dedicated for the growing of vegetables, fruits, flowers, or other plants for personal or collective use. Community gardens may be organized and managed by a community organization or group of residents and are typically located in urban or suburban settings.

Urban Agriculture: means the practice of cultivating, growing, processing, and distributing food and other products in and around urban areas. Urban Agriculture encompasses a variety of activities including, but not limited to, aquaponic gardens, community gardens, greenhouses, hen houses, hoop houses, and rooftop gardens. These activities may involve the growing, acclimating, propagating, harvesting, displaying, and selling of plants, including bedding, edible, household, and ornamental plants. Urban Agriculture may also include accessory uses related to the storage, display, and sale of gardening, nursery, and related products. This use excludes Cannabis Production and Distribution Facilities, Retail Store (Cannabis), and any other cannabis-related uses.

Open Space:

Park and Natural Areas: Land designated for outdoor recreation, the protection of natural features, or areas of cultural, ecological, or scenic value. This includes parks, environmentally sensitive areas, wilderness areas, ecological reserves, archaeological sites, playgrounds, municipal reserves, and landscaped areas. These areas may support activities such as walking paths, playgrounds, and picnic areas, with minimal facilities like public washrooms.