

Direct Control Districts

5.19. DC(A)-01 DIRECT CONTROL – COMMERCIAL CENTRE (HWY 21 AT PINEVIEW)

5.19.1. District Purpose

- a. The purpose of this District is to establish Site specific regulations for the development of commercial retail and service centre. The Site is to be developed in a manner that is sensitive to adjacent residential neighbourhood. It is also to be developed in a comprehensive manner with high architectural and urban design standards given the Site's Frontage and prominence along Highway 21.

5.19.2. Built Forms

Table 5.19.1. Built Form Table

Built Form		Built Form Provision (BFP)
Commercial Office Building, Large Scale Retail Centre, Single Structure Commercial Pad, Strip Mall	P	Where there is inclusion of a Drive-Through Service; the Built Form shall be neither Permitted or Discretionary.
Sign	D	
Urban Agriculture	D	

5.19.3. Subdivision Standards

Table 5.19.2. Subdivision Standards

	Interior or Corner Site
Site Area	Min. 0.2 ha
Site Width	At the discretion of the Subdivision Authority
Site Depth	At the discretion of the Subdivision Authority

5.19.4. Built Form and Siting

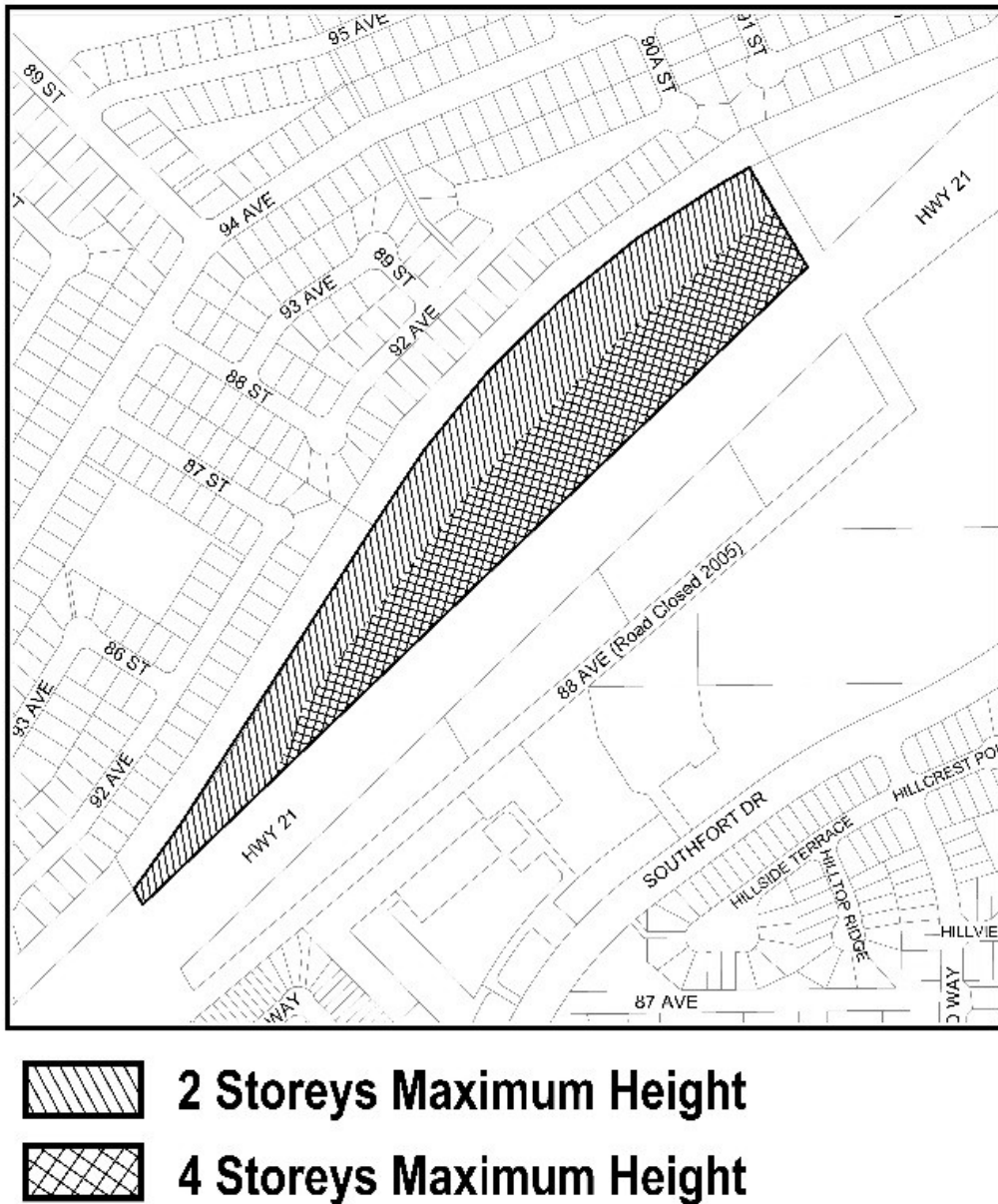
Table 5.19.3. Built Form and Siting

	Interior or Corner Site
Site Area	Min. 0.2 ha
Front Yard Setback	Min. 7.5m
Rear Yard Setback	Min. 7.5m
Side Yard Setback	Min. 4.5m
Building Height	Max. 14.0m
Site Coverage	70%

5.19.5. Building Height

- a. Maximum building height shall be determined based upon:
 - i. The location of the Building in proximity to low Density residential as per Figure 5.18.1.

Figure 5.18.1 Maximum Building Height Diagram

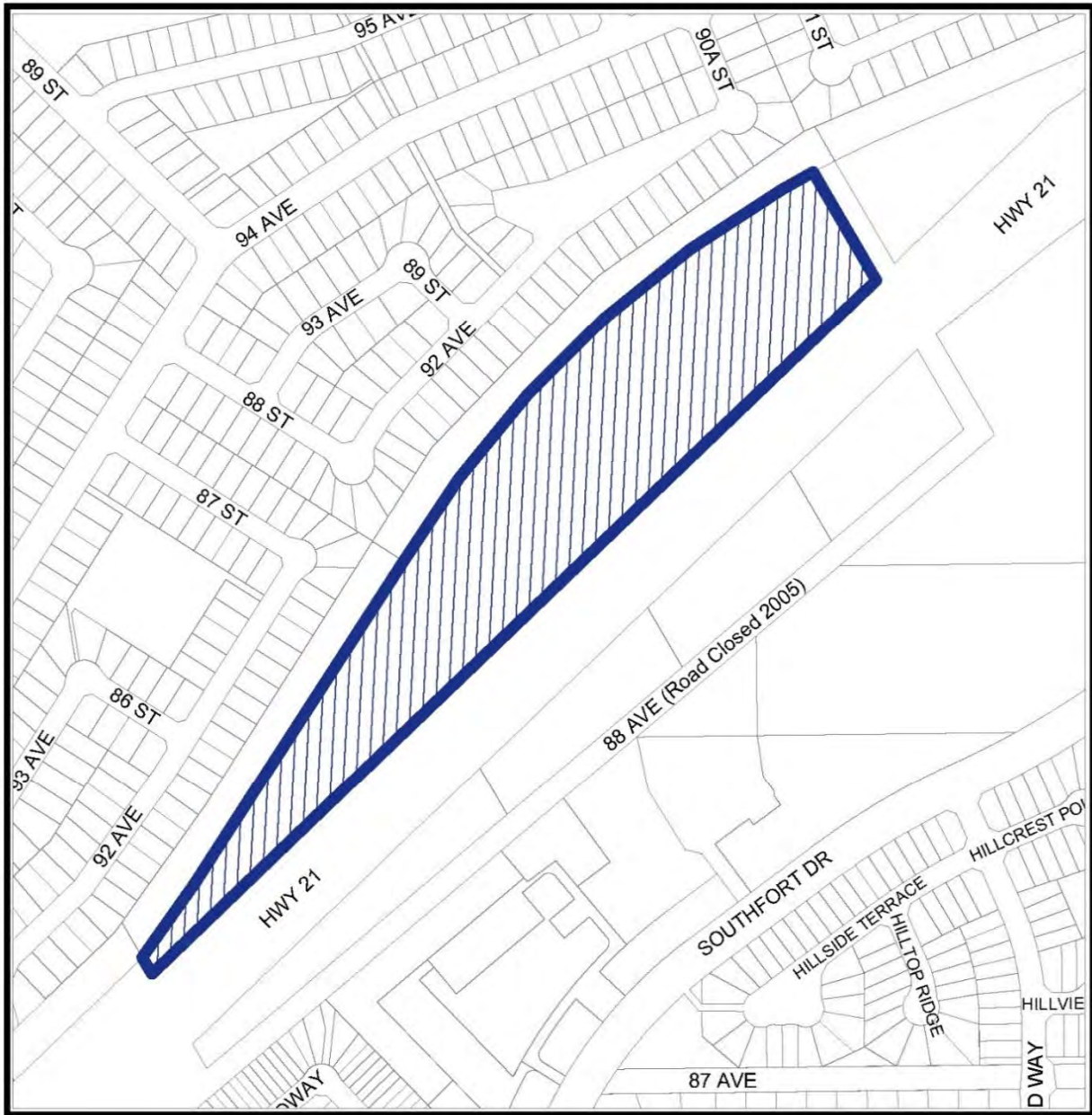


5.19.6. Architectural Design

- a. The design of each Building shall establish a single architectural theme or architectural style. Similar design elements, finishing materials, colours and roof style shall be applied to each Building regardless of the staging sequence of the project.
- b. Buildings along Highway 21 shall have significant Building Orientation towards the Highway.
- c. The roofline and Building Façade shall include design elements that reduce the perceived mass of the Building and add architectural interest.
- d. All mechanical equipment, including roof mechanical units, shall be concealed by Screening in a manner Compatible with the architectural character of the building, or concealed by incorporating it within the Building framework.
- e. The Site shall be developed to maximize aesthetic views from the Adjacent Street and Adjacent residential land use. All sides of Buildings that are exposed to a public Street or another Site shall be finished in a consistent, harmonious manner.
- f. The exterior wall finishing materials shall be predominantly composed of muted colours, with strong colours limited to use as an accent.

5.19.7. All Built Forms within this District are subject to the applicable provisions of Part 4 – General Regulations.

5.19.8. Location Map



SUBJECT AREA