

What We Heard Report

New Land Use Bylaw: Draft Downtown Core District Review

Residents' Workshops:

February 20, 2026 - 1:00 PM - 7:00 PM



CITY OF
FORT SASKATCHEWAN
FORTSASK.CA

Executive Summary

The City of Fort Saskatchewan is creating a new Land Use Bylaw (LUB). As part of this effort, the City engaged with the residents and businesses of Downtown Core to inform the regulations of the draft Downtown Core District (DCD). This What We Heard Report includes the results of the second round of engagement with the participants from the Downtown Core.

The engagement process was designed to gather business owner, property owner, and resident input on the proposed second draft of the Downtown Core District. Feedback received will be used to inform the further refinements to the second draft of the Downtown Core District. The first draft of the District was shared with property owners, business owners, and residents of these neighbourhoods on November 2024. Feedback from that engagement was considered in the development of the second draft.

The engagement session involved Drop-in, one-on-one discussions between facilitators and attendees. Draft district and information about the Drop-in Session were also available online for review and comment. Attendees had the opportunity to discuss the overall changes, ask any specific questions, log concerns, and submit feedback forms in person or electronic submissions.

The dedicated Downtown Core District webpage provided information, including the draft Downtown Core District and information regarding the Drop-in Session. The webpage provided an opportunity to provide feedback on the proposed draft.

The engagement was advertised by emailing individuals who previously provided feedback on the Downtown Core District, through the Chamber of Commerce and Economic Development newsletters, by emailing businesses within the Downtown Core District, and by sending letters to property owners, business owners, and residents in the Downtown Core.

The Drop-in Session was held from 1:00 pm to 7:00 pm on Friday, February 20th, 2026. A total of 13 attendees signed in to the session, with three feedback forms. The online engagement period was open from February 20th to February 27th, 2026. The Downtown Core District webpage was viewed 113 times from 64 Users in the engagement period.

The feedback collected from in-person and online engagement is summarized in this report. This input will be used to inform updates to the draft Downtown Core District.

Project Introduction

The City of Fort Saskatchewan is creating a new Land Use Bylaw (LUB). The LUB is one of the most important Bylaws for a municipality. Most planning documents provide goals and objectives to be achieved; therefore, helping to plan for the future. The LUB is different in that it is a regulatory document that sets policies for the use and development of land as it happens.

This What We Heard Report provides a summary of the online engagement and Drop-in Session where the second draft of the Downtown Core District was discussed.

Administration hosted the Drop-in Session at the Fort Saskatchewan Community Hall's Normandy room. At this Drop-in Session, the Project Team was available to answer any questions from business owners, property owners, and residents about the second draft of the Downtown Core District (DCD) as well as explain the Land Use Bylaw process.

A Downtown Core District webpage was also available as an online engagement opportunity for business owners, property owners, and residents. The page featured maps, the first and second drafts of the District, and the Summary Report from the first Downtown Core District engagement. The webpage provided an opportunity to submit feedback via electronic submission.

Our Approach

Methodology

Data Collection

One Drop-in Session was held from 1:00 pm to 7:00 pm on Friday, February 20th, 2026. This workshop was an informal conversational opportunity for participants to clarify changes, ask questions, indicate their preferences, and provide additional feedback through feedback forms. 13 participants attended with a total of three Feedback Forms submitted.

An online engagement ran concurrently from February 20th to February 27th, 2026. During this period, residents could access the first and second drafts of the proposed regulations, maps, and the first engagement Summary Report on the project website. Participants provided feedback through the Fort Report system or by email. This resulted in two electronic submissions received.

Data Analysis

Submissions were summarized to create an understanding of business owners, property owners, and residents concerns and perspectives. The summary analysis of comments was based on feedback from the Drop-in Session and electronic submissions. In total, 13 participants attended the Drop-in session with three feedback forms being submitted. The online engagement session received two electronic submissions.

Promotional Activities

The workshops were promoted through:

- Emailed individuals on the project contact list and to those who had previously submitted feedback;
- The Webpage;
- Promoted through the Chamber of Commerce Newsletter and Economic Development Newsletter;
- Emails were sent to businesses within the Downtown Core District; and
- Letters were mailed to business owners, property owners, and residents within the Downtown Core District.

Drop-in Engagement Session and Online Engagement

A Drop-in Session to gather feedback from residents was held in the Fort Saskatchewan Community Hall’s Normandy Room on February 20th, 2026. Individuals were welcome to drop in at their convenience between 1:00 PM to 7:00 PM.

A total of 13 attendees signed into the session. A total of three feedback forms were submitted.

At the Drop-in Session, City Planners were available to discuss the overall LUB process, the changes from the November 2024 draft (Appendix C), the drop-in engagement activities, and any other questions that arose.

Residents were encouraged to fill out Feedback Forms which were made available to the workshop attendees on every table and at the check-in counter.

Online engagement supplemented the in-person Drop-in Session. From February 20th to February 27th, 2026, the draft Downtown Core District and a summary of the proposed changes were posted on the City’s website for residents to review and comment. During this period, the webpage was viewed 113 times by 64 Users, with two electronic submissions received.

Drop-in Session – Comments

A total of **3 of the 13 attendees** (23% of attendees) that signed in submitted feedback forms. The comments have been categorized as they relate to the dominant themes: Parking, Uses and Typology, Regulation Clarity, Accessory Dwellings, Setbacks, Site Coverage, and Other. The entirety of the feedback comments can be found in Appendix A.

| Theme | Feedback Form Comments |
|----------------------------|---|
| Parking | Increase 2 hour parking spaces to encourage business in the area and provide spaces for customers to park. (1) |
| Uses and Typology | Allow for more Building Types in the downtown. (1) |
| Regulation Clarity | Support the Design Performance Matrix, but it is difficult to understand. (1) |
| | Further clarity on the definition of ‘Significant Redevelopment’. Include examples of ‘Significant Redevelopment’. (1) |
| | Consider different options for redevelopment such as dollar amount per square meter. Allow certain degree of repair, maintenance, and improvement without triggering new rules. (1) |
| Accessory Dwellings | Increase accessory building height to allow for two storey development to allow for office or dwelling. (1) |

| Theme | Feedback Form Comments |
|----------------------|--|
| Setbacks | Reduce setbacks to allow for 0 meter development. (1) |
| Site Coverage | Increase site coverage to support local businesses to utilize the entire property. (1) |
| Other | Regulations should be less restrictive, notwithstanding health and safety. (1) |
| | Low rent and property values along with old buildings allow for interesting shops and services. (1) |
| | Agreed with the intent outlined in the new proposed district. Creating a pedestrian-friendly environment creates a sense of place. (1) |
| | Existing Bylaw created development and re-development difficulty. (1) |

Online Engagement – Comments

A total of **two electronic submissions** were received through fortplanning@fortsask.ca and Fort Report. The comments have been categorized as they relate to the dominant themes: Uses and Typology, Definitions, Building Character and Design, Grants, Performance Matrix, Engagement, and Other. The entirety of the electronic submissions can be found in Appendix B.

| Theme | Electronic Submission Comments |
|--------------------------------------|---|
| Uses and Typology | Clarity of what Building Types apply to Downtown Living. (1) |
| | Clarity to multi-unit uses include seniors housing and supportive living. (1) |
| | Define what “P” and “D” means for the Uses and Typology Table. (1) |
| Definitions | Clarification about the Building Type Inn. Currently, includes hotel, motel, apartment hotel, but also continuing care. (1) |
| Building Character and Design | Less restrictive regulations to promote redevelopment of buildings. (1) |
| | Add regulations that aren’t cost prohibitive for redeveloped or significantly redeveloped buildings. (1) |
| Grants | Increase funding for Commercial Revitalization Grants. (1) |
| | Extend the Commercial Revitalization Grant to continue supporting Downtown redevelopment. (1) |
| Performance Matrix | Most critical regulations should be scored or weighted more. (1) |
| Engagement | Provide more time to review the draft and to provide feedback. (1) |
| Other | Provide definitions in relation to Downtown Living Core. (1) |

Additional Comments

As part of the feedback forms residents also provided comments that were not specific to the proposed Downtown Core District regulations. These comments primarily focused on the notice of the workshop sessions and the overall session format. The feedback received has been summarized and organized as Workshop Feedback. The entirety of the feedback comments can be found in Appendix A.

| Theme | Feedback |
|--------------------------|--|
| Workshop Feedback | Participants expressed thanks and indicated they believed the workshop was well-run. (2) |
| | Participant appreciated the effort to improve the downtown rules. (1) |

Next Steps

The City will take the feedback into consideration, and any comments will be considered in further refinement of the draft prior to taking it for the Council consideration.

Appendix A: Feedback Forms

| Feedback Form Number | How did you hear about the Workshop? | The Venue for the Workshop was convenient. | Information provided at the Workshop was clear and easy to understand. | Opportunities to ask questions and give input were provided. | Do you have any suggestions for the Workshop format? | Do you have any comments that weren't included at the Workshop? |
|----------------------|--------------------------------------|--|--|--|---|---|
| 1 | Signs in our neighbourhood | Agree | Agree | Agree | Engagement Session was great! Lots of staff able to offer information, answer questions and listen to my comments and concerns. | Our concerns with some of the rezoning is parking. Currently our street has only 2 stalls with 2 hour parking. As a business, it is important for our customers to have available parking in close proximity. Some of our customers have limited mobility and require parking close by. We tend to struggle at times with having available parking due to apartment residents and visitors. Additional 2-hour parking spaces would encourage business in the area. |
| 2 | | | | | | <p>I was the one who was there at the end of the evening on Friday night at the workshop. First of all thank you for taking the time to sit with me and go over the land use bylaw draft. In general I like the spirit of the draft, but have some feedback/requests/suggestions.</p> <p>1) My primary reason for attending and giving feedback is because in the future I was hoping to replace the garage behind my office with a 2 story building that had a garage on the ground level, with either an office or suite on the second level. After discussing it with you I was informed that an accessory building at present time can't be more than one story high and that there would be problems with having a dwelling in it. My request is to allow an accessory building to be at least 2 stories, and have the ability to have a dwelling in it.</p> <p>2) My other concern was regarding setback rules for buildings in reference to property lines in the Downtown living zone. The building that I built from what I can remember is basically or specifically built with zero meter set backs. If my building was any smaller in any direction it would have severely compromised my ability to grow into the business that I am now and operate at a comfortable level. Additionally my garage current footprint is also built with zero meter set backs. If it was built with larger set backs, then I would not be able to accommodate the required parking that the city needs to be permitted with our current business needs.</p> <p>Lastly, the majority of the properties in the downtown living zones are not really that big. If you want to support local business it would be helpful if they could utilize their entire property.</p> |
| 3 | | | | | | <p>I'll start by saying I appreciate the effort made to improve development rules for the downtown. The proposal presented this week is a marked improvement over C14-08. I absolutely agree with the intent outlined in the new proposal. The best hope for the future of our downtown is to encourage a pedestrian-friendly environment that invokes a sense of place, unlike so much of the rest of our suburban community, best described as a car-infested wasteland.</p> <p>This was also the intent of C14-08. Unfortunately, that bylaw lacked the nuance needed to deal with the reality of our downtown, which contains many buildings and businesses not suitable for a truly pedestrian friendly neighbourhood. The existing bylaw has created great difficulty for these properties, which require radical and expensive reconstruction to meet the letter of the bylaw.</p> <p>The other intent of any downtown core bylaw must include "do nothing that will prevent improvement of existing structures." There was some desire to include this in the existing bylaw, but it failed. The original authors may have believed that existing buildings were protected, but each new Planner, in reading the letter of the bylaw, has been forced to impose difficult conditions on redevelopment of existing buildings.</p> <p>The primary, indeed the only remaining advantage of the downtown is that rent and property values are relatively low. These old, imperfect buildings make it possible to operate a number of marginal and often interesting shops and services. If the downtown has any real hope of survival — and as of late it is losing this battle — the ability to put almost anything in these old buildings is it.</p> <p>So, I appreciate the Design Performance Matrix as an attempt to make the bylaw more flexible. And I do not doubt that it will do so, at least for future Planners. But I have to say I have trouble understanding it, and I can assure you that downtown property owners will not like it. I think it should stay, but only as a last resort.</p> <p>I like the phrase in 8v: "significant redevelopment." However, I am not quite happy with the definition of "significant redevelopment." I think it needs to be more clearly defined, as improvement to over 50% of the public facing Facade/s could mean a new paint job or new siding. I do agree that an addition to the building would qualify. Perhaps we could include examples of what significant redevelopment DOES NOT mean, such as, I believe, new siding, stucco, paint and even doors or windows that only replace existing doors or windows.</p> <p>Another option might be to define it as a percentage of the value of the existing building. (A straight dollar value would not work, as this will change quickly with time, even if we use \$\$ per sq. meter or some such.) The key, I feel, is to allow a certain fair degree of repair, maintenance and even improvement without activating the new rules at all. I am a socialist, not a libertarian, but when it comes to small business, I do believe it best for us to just get out of the way whenever possible - health and safety regulations notwithstanding.</p> <p>I hope this input helps. I look forward to this new bylaw.</p> |

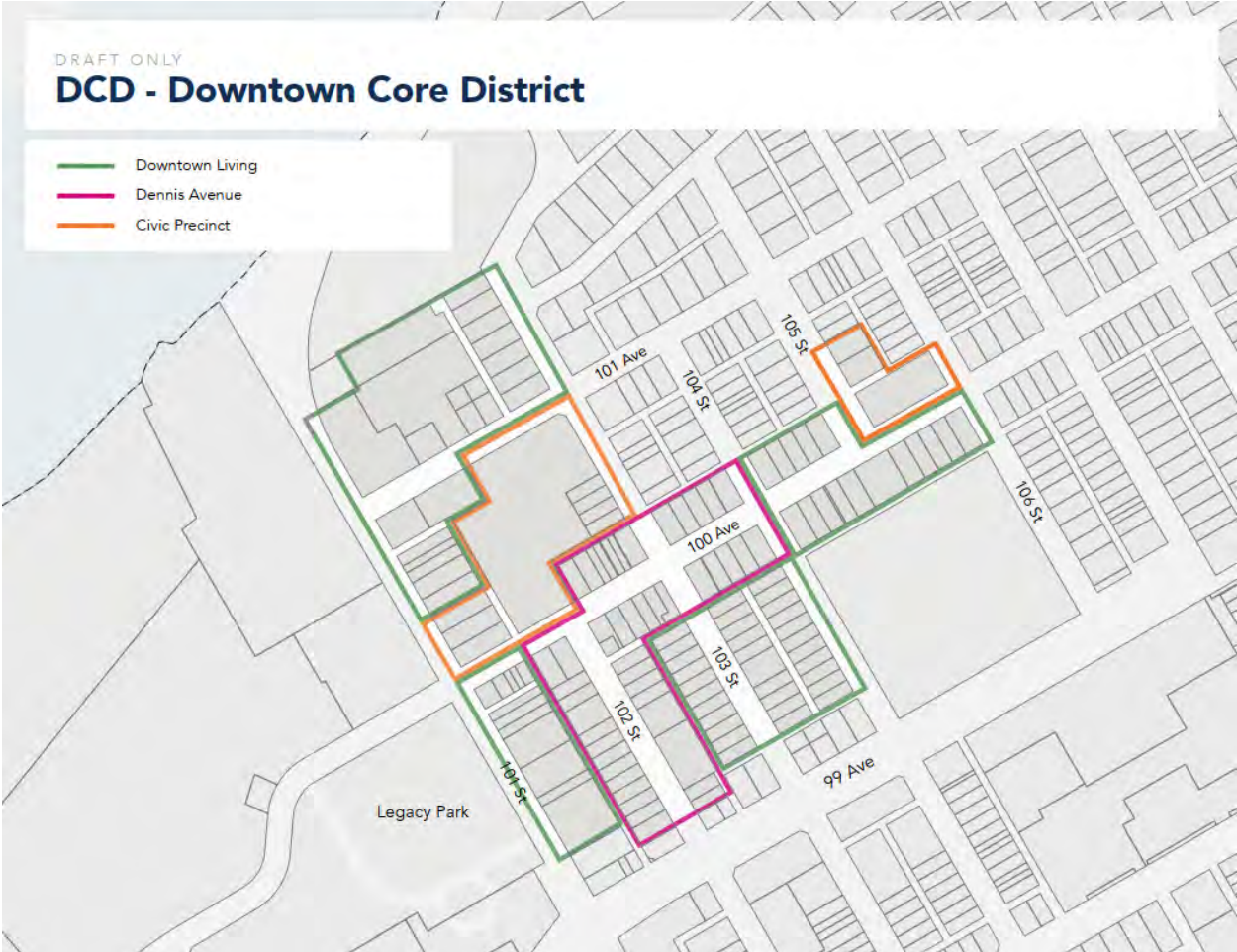
Appendix B: Online Feedback

| Feedback Submission Number | Date | Feedback |
|----------------------------|-----------|---|
| 1 | 19-Feb-26 | <p>We look forward to the referenced draft regulations for the Downtown Core District, relating to our properties, the majority of which are outlined in green in Schedule A of your February 6, 2026 correspondence.</p> <p>Our question is when you reference “Downtown Living”, we assume you are including as permitted uses multi-unit residential zoning to allow us the ability to upgrade and/or expand our facility and/or provide additional seniors housing, supportive living, or otherwise . This is specifically in relation to the property as well as adjacent properties. We look forward to the February 20th draft plan.</p> <p>Thank you for your email. Just for some clarification, in relation to the Downtown Living Core, are there a series of current definitions? Also, the rest of the building types that appear to be in Downtown Living – we see what appears to be the building types for Dennis Avenue but we are trying to determine the extent of what is applicable to Downtown Living. You indicate typical examples of development include short stay or mid-term stay such as hotel, motel, or apartment hotel. You also indicate that supportive living would be under the Inn Building Typology. Are the hotel, motel, apartment hotel examples discretionary, as well as continuing care facilities? Your response I believe covers provision of seniors accommodation and the related nursing and personal care services that we provide on site – is that correct? Also, we have the hospice beds, which are an important component to seniors services in Fort Saskatchewan. They are of a short term accommodation nature with key related services through palliative care. It’s a little confusing when you reference travellers and tourists but then reference the supportive housing / assisted living. We just want to be sure that we are covered in relation to that site as to the current range of long term care; i.e., nursing home and seniors supportive living developments Type A and B that have evolved relating to quality long term care / seniors services through Assisted Living Alberta over the last few years. I know this may be a bit rambling, but I just want to make sure we are not missing something here as our intention is to continue to provide key LTC services through ALA direction and provide capacity to reduce pressures on acute care (hospital) as the system evolves, so I would appreciate your thoughts on these items.</p> |
| 2 | 27-Feb-26 | <p>I have reviewed the 2nd draft of the DCD and attended the engagement session last Friday. I am in full support of all efforts to try and enhance the downtown corridor and do appreciate the opportunity to review the DCD. Here is my feedback:</p> <ul style="list-style-type: none"> -The development standards defined for the Downtown Living and Dennis Avenue areas (e.g. 60% transparency at ground level) are certainly achievable for new buildings, but are too cost prohibitive for redeveloped or significantly redeveloped buildings. To alter the framing/structure and add in such significant window/transparency requirements will be too costly and will deter current business owners from investing in their buildings. -Consideration should be given to the following: <ul style="list-style-type: none"> -Soften the development standards to promote more uptake of redeveloping buildings -Increase funding for the Commercial Revitalization Grants currently available -Prolong the lifespan of the Commercial Revitalization Grants. As the DCD will last indefinitely, as soon as the grants are no longer funded, then business owners will likely not pursue redevelopment -If these measures are not considered and implemented to some degree, the development of the DCD will have the opposite effect intended (meaning even less downtown development) <p>-P vs D should be defined in Section 4. Uses and Typology (permitted vs discretionary), unless I missed it. -Review to determine if Appendix 1 is based on industry best practice and aligns to other jurisdictions who have successfully utilized performance evaluation frameworks. -On initial review, I am questioning whether it is appropriate for all factors to have equal weightings. I would expect a heavier weighting on the aspects that the Planning Team have deemed to be most critical, however, I have not compared this framework to others. -The engagement session occurring on the same day as the release of the 2nd draft of the DCD limited the opportunity to review and provide meaningful feedback and discussion in person. I would recommend more time between the release of documentation, and engagement sessions in the future. Thanks for taking my feedback.</p> |

Appendix C: Draft Materials

DCD – Downtown Core District

(1) MAP



(2) PLACETYPE

The Downtown Core serves multiple functions. It is Fort Saskatchewan’s historic downtown: home to many unique businesses, residential apartments, and government buildings. This place type is built with a grid road network and walkable block sizes. The Downtown Core District features traditional Prairie Main Street historic brick façades and Prairie Style architecture, with structures featuring brick, decorative brick, wood, and stone. The location is complemented by the river valley and Historic Precinct in close proximity.

Within this district, there are sub-place types. Dennis Avenue is a sub-place type that is dominated by ground-level retail, entertainment, and enhanced streetscape. This sub-place type comprises retail-focused corridors of 100th Avenue (Dennis Avenue) and 102nd Street and serves as a hub for residents and visitors. Civic Precinct another sub-place type, comprises of City Hall, the Courthouse, and the Post Office. Downtown Living is marked by a blend of street-oriented, ground-level commercial spaces and apartment blocks. Predominately pedestrian-oriented, its infrastructure supports and encourages ground-level

commercial activities. The active uses within this place type are varied, hosting a range of small-scale businesses, boutique shops, and service establishments, as well as residential and office uses.

(3) INTENT

i. General Intent

In the Downtown Core District, there is an emphasis on creating a vibrant, pedestrian-oriented environment through thoughtful urban design. This place type is intended to attract residents, visitors, and economic development to foster a lively historic downtown, distinguished by development that invokes a strong sense of place. Each sub-place type, with its tailored design approach and functionality, contributes to the cohesive identity and dynamism of the Downtown Core. The small-town character shall be maintained through design features, site planning, and massing while creating opportunities to accommodate residents and visitors for round-the-clock vibrancy, safety, and to support local businesses.

ii. Land Use Intent

The Downtown Core is tailored to address the unique needs and characteristics of each sub-place type, guiding the development and utilization of land in a way that supports the overall vision.

Dennis Avenue

In the retail-focused Dennis Avenue sub-place type, the aim is to foster vibrancy and a welcoming, engaging, comfortable, and seamless pedestrian experience. This area is intended for small-scale commercial retail, restaurants, bakeries, coffee shops, art galleries, pubs, salons, and similar establishments at ground level that cater to pedestrian traffic. To maintain the active street frontage and pedestrian engagement, professional services, studio or private schools, and other office-related uses are encouraged to occupy spaces above the ground floor. Residential units are also permitted within this area, provided they are situated above the ground floor or behind the retail street frontage at the ground level. This approach aims to create a lively street-level experience while accommodating a mix of uses.

Civic Precinct

In the Civic Precinct, the intent is to uphold and enhance its role as a hub for civic activities. This sub-place type is largely influenced by the activities and functions of City Hall, the Post Office, and the Courthouse. While there are limited opportunities for new development in this area, any future land use is expected to align with the character of the downtown and be compatible with the existing context. Appropriate and complementary uses that enhance the downtown, the area's civic nature, and public accessibility are encouraged, ensuring that the precinct continues to serve as a focal point for city-wide activities and interactions.

Downtown Living

In the Downtown Living area, marked by a combination of standalone commercial spaces and street-oriented apartment blocks, the goal is to create a versatile urban space that accommodates a diverse mix of uses. This flexibility is essential for an adaptable and vibrant urban environment, ready to evolve with changing urban dynamics in the mature Downtown Core.

This sub-place type is intended to accommodate the working, living, and shopping needs of Downtown residents and of the city as a whole. This area is primarily suited for higher-density residential developments, particularly apartment blocks and other multi-unit residential structures with integration of compatible commercial uses. The inclusion of commercial elements is designed to be harmonious with the residential character of this sub-place type, providing essential services and amenities while maintaining the overall mixed-use framework within a densifying urban fabric.

iii. Form of Development and their Locations

Dennis Avenue is to function as a main street with engaging, attractive, human-scale development that creates a welcoming and interactive experience for pedestrians. Comfortable environment for walking and shopping is created through low to mid-rise buildings up to 4-5 storeys tall, located closer to the sidewalks, articulated building facades, architectural elements such as canopies, big display windows, and many entryways creating an interactive experience.

Downtown Living will also be home to low to mid-rise apartments up to 6 storeys tall and commercial services. This area will strengthen the population base, creating 24x7 activity in the downtown.

Civic precinct will also support the compatible redevelopment that builds on the existing character and blends in with the surroundings.

iv. Development Approach

The Development Approach for the Downtown Core District establishes a regulatory framework in which zoning standards remain in force, while allowing limited flexibility where high-quality urban design and site planning demonstrably mitigate potential impacts and support the objectives of the District.

Development within the Downtown Core District must comply with the applicable regulations of this District, including permitted uses, development standards, and site requirements, unless a variance is approved in accordance with the Land Use Bylaw and the Municipal Government Act.

The City recognizes that urban design quality, site integration, and public realm contribution can, in certain circumstances, reduce or offset impacts that would otherwise arise from the strict application of development standards. Accordingly, discretionary decision-making within the Downtown Core District shall place particular emphasis on how proposed developments address interface conditions, pedestrian experience, spatial quality, and neighbourhood context.

To support this evaluation, the City has established a Design Performance Evaluation Framework, set out in Appendix 1. The framework provides structured criteria to assist the Development Authority in evaluating urban design quality and in determining whether proposed developments demonstrate sufficient mitigation of impacts to support the exercise of discretion or the approval of variances.

The Design Performance Evaluation Framework is intended to inform professional judgment and decision-making. It does not replace the regulations of this District, does not authorize deviations from required standards on its own, and does not constitute an alternative regulatory pathway.

The framework may be applied using qualitative assessment, comparative evaluation, or other structured review methods, including, where appropriate, scoring or weighting systems. Regardless of the method used, decisions shall be based on reasoned findings that clearly link the evaluation of design quality to the statutory variance tests and the objectives of the Downtown Core District.

(4) USES AND TYPOLOGY

| Building Type | Requisite Qualifiers | | | Fundamental Use Provision (FUP) |
|--|----------------------|----------------|-----------------|--|
| | DCD Locations | | | |
| | Dennis Avenue | Civic Precinct | Downtown Living | |
| Apartment | - | - | P | |
| Stacked Townhousing, Townhousing | - | - | D | |
| Commercial Block | P | - | D | Inclusion of a Drive-Through Service; the Building Type shall be considered neither Permitted or Discretionary. |
| Commercial Office Building | D | - | D | Inclusion of a Drive-Through Service; the Building Type shall be considered neither Permitted or Discretionary. |
| Mixed Use Building | P | - | P | Inclusion of a Drive-Through Service; the Building Type shall be considered neither Permitted nor Discretionary. |
| Inn | D | - | D | |
| Sign | D | D | D | |
| Single Structure Commercial Pad | - | - | D | Only on the following parcels: Plan: O Block: 15 Lot: 7 Plan: O Block: 15 Lot: 8 Plan: O Block: 5 Lot: 23 |
| Storefront | P | - | D | Inclusion of a Drive-Through Service; the Building Type shall be considered neither Permitted nor Discretionary. |
| Indoor Assembly | D | P | P | |
| Public Service Building | - | P | D | |

| Building Type | Requisite Qualifiers | | | |
|-----------------------|----------------------|----------------|-----------------|---------------------------------|
| | DCD Locations | | | |
| | Dennis Avenue | Civic Precinct | Downtown Living | Fundamental Use Provision (FUP) |
| School | - | - | D | |
| Urban Agriculture | D | D | D | |
| Park and Natural Area | P | P | P | |

(5) LOT AND SUBDIVISION STANDARDS

| | Use | Standard |
|-----------|--|---|
| Lot Width | Stacked Townhousing, Townhousing | Interior Lot: Min. 3.6m End Lot: Min 4.8m Corner Lot: Min. 6.0m |
| | Apartment, Inn, Mixed Use Building, Stacked Townhousing (with Shared Access), Townhousing (with Shared Access) | Min. 15.0m Max. 50.0m |
| | Commercial Office Building, Indoor Assembly, Public Service Building, School, Single Structure Commercial Pad | To the discretion of the Subdivision Authority. |
| | Commercial Block, Storefront | Min. 3.6m Max. 16.0m |
| Lot Depth | Apartment, Commercial Block, Commercial Office Building, Indoor Assembly, Inn, Mixed Use Building, Public Service, School, Single Structure Commercial Pad, Storefront, Stacked Townhousing, Townhousing | Min. 30.0m Max. to the discretion of the Subdivision Authority. |

(6) BUILT FORM AND SITING

- i. Shared side property line for Stacked Townhousing and Townhousing is permitted to be 0.0m.
- ii. Balconies and porches may not project beyond the property line.

| | Typology | Dennis Avenue | Civic Precinct | Downtown Living |
|------------|---|-----------------------|----------------|----------------------|
| Front Yard | Apartment, Commercial Block, Commercial Office Building, Inn, Mixed Use Building, Single Structure Commercial Pad, Storefront, Stacked Townhousing, Townhousing | Min. 0.0m – Max. 3.0m | - | Min. 0.0m – Max 6.0m |

| | Typology | Dennis Avenue | Civic Precinct | Downtown Living |
|---------------------------|---|---|----------------|------------------------|
| | Indoor Assembly, Public Service Buildings and Schools | To the discretion of the Development Authority. | | |
| | Accessory Building | Not permitted within front yard setback. | | |
| Rear Yard | Apartment, Commercial Block, Commercial Office Building, Inn, Mixed Use Building, Single Structure Commercial Pad, Storefront, Stacked Townhousing, Townhousing | Min. 1.0m | - | Min. 6.0m |
| | Indoor Assembly, Public Service Buildings and Schools | To the discretion of the Development Authority. | | |
| | Accessory Building | Min. 1.0m | | |
| Side Yard | Apartment, Commercial Block, Commercial Office Building, Inn, Mixed Use Building, Single Structure Commercial Pad, Storefront, Stacked Townhousing, Townhousing | Min. 0.0m – Max. 1.2m | - | Min. 0.0m – Max. 3.0m |
| | Indoor Assembly, Public Service Buildings and Schools | To the discretion of the Development Authority. | | |
| | Accessory Building | Min. 1.0m | | |
| Front Flanking Yard | Apartment, Commercial Block, Commercial Office Building, Inn, Mixed Use Building, Single Structure Commercial Pad, Storefront, Stacked Townhousing, Townhousing | Min. 0.0m – Max. 3.0m | - | Min. 2.4m – Max. 3.0m |
| | Indoor Assembly, Public Service Buildings and Schools | To the discretion of the Development Authority. | | |
| | Accessory Building | Min 2.4m | | |
| Principal Building Height | Apartment, Commercial Block, Commercial Office Building, Inn, Mixed Use Building, Single Structure Commercial Pad, Storefront, Stacked Townhousing, Townhousing | Min. 4.5m – Max. 15.0m Max. 1.5m for top storey parapet. | - | Min. 8.5m – Max. 20.0m |
| | Indoor Assembly, Public Service Buildings and Schools | To the discretion of the Development Authority. | | |
| | Accessory Building | Max. 5.0m | | |
| Site Coverage | Stacked Townhouses, Townhouses | Max. 80% | | |
| | Apartment, Commercial Block, Commercial Office Building, Inn, | Max. 80% | | |

| | Typology | Dennis Avenue | Civic Precinct | Downtown Living |
|-----------------|--|--|----------------|-----------------|
| | Mixed Use Building, Single Structure Commercial Pad, Storefront, | | | |
| | Indoor Assembly, Public Service Buildings and Schools | To the discretion of the Development Authority. | | |
| | Accessory Building | Max. 15% | | |
| Density | Stacked Townhouses, Townhouses | Max 1 Principal Dwelling unit; plus up to a maximum of 1 Backyard Dwelling unit OR up to a maximum of 1 Internal Secondary Suite | | |
| | Apartment, Mixed Use | Min. 70 du/nrha | | |
| Common Amenity | Apartment and Mixed-Use | Minimum 4.5m ² per dwelling unit | | |
| Private Amenity | Apartment and Mixed-Use | Minimum 3.0m ² per dwelling unit to be provided for balconies | | |

(7) BUILDING CHARACTER AND DESIGN

i. General

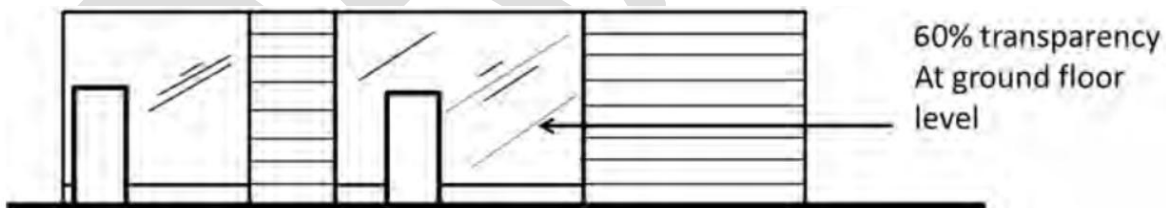
The Development Authority may use its discretion to accept design elements other than those established in Section 7: Building Character and Design, provided that the applicant achieves the minimum threshold established in process outlined in Appendix 1: Design Performance Evaluation Framework.

- a) Vehicle-oriented activities may be accommodated with primary access from a Lane, provided that pedestrian priority activity at grade is maintained along the Street. The following Activities are considered vehicle-oriented:
 - a. Service Station
 - b. Service Station (Limited)
 - c. Vehicle and Equipment Storage
 - d. Vehicle Repair Facility
 - e. Vehicle Repair Facility (Limited)
 - f. Vehicle Sales, Leasing, and Rental Facility
 - g. Vehicle Wash
- b) New and redeveloping building facades abutting public and quasi-public spaces or Streets that exceed 12.0m in building length shall incorporate vertical architectural design elements such as modulation of massing, variation in roofline, porches, pilasters, or columns, and wall planes (recessed or raised surfaces) to create a visual interest and avoid continuous blank walls.
- c) New and redeveloped buildings taller than 15.0m in height shall incorporate a step-back from front property line to address massing, sun penetration, shadowing and wind tunnel impacts at the pedestrian level to the satisfaction of the Development Authority.

- d) Parking shall be concealed within new buildings with at-grade active frontages, located at the rear of the building or located at the side of the building with decorative screening and increased landscaping.
- e) Exterior building finishes facing the street, park and/or open space shall incorporate a minimum of 20% of the ground floor façade area with decorative materials such as brick, brick veneer, stone, tile, stone veneer, wood, decorative shingles, or a combination thereof.
- f) To ensure architectural interest, new buildings and buildings with significant redevelopment shall incorporate a minimum of three of the following design elements on the facades:
 - a. Use of architectural treatments appropriate to the architecture style such as cornices, decorative columns and beams, canopies and lighting fixtures;
 - b. Use of bold window trims, soffits, muntin bars;
 - c. Use of building features such as clearly defined entryways, dormer window, bay windows, window shutters, balcony, porch, veranda, chimney shaft, promenades, to create articulation and interest;
 - d. Use of exterior materials of high quality and durable materials. Each building must have a minimum of 20% high quality accent material, such as, but not limited to stone, brick or decorative shingles;
 - e. Use of accent colour and/or contrast in finishing materials;
 - f. Use of premium soffits for roof overhang, vibrant colored front entry doorways, enhanced railing detailing on balconies and patios.
- g) A minimum of 85% of all ground-floor windows must be clear and transparent. The remainder may be covered by non-transparent material.

ii. Dennis Avenue

- a) For new and redeveloped buildings, a minimum of 60% of the ground floor façade area adjacent to a public street, park and/ or open space shall be comprised of windows, doors, or transparent glazing;



- b) For new and redeveloped buildings, a minimum of 70% of a building's length along the front lot line shall be within the permitted setback. Areas not covered by the building footprint shall be hard-surfaced and shall be utilized for activities that engage the pedestrians, such as a patio, plaza, etc.
- c) For new and redeveloped buildings, ground-floor entrances shall be provided such that no portion of a building façade facing a public street exceeds 10.0 m in length without an entrance.
- d) Entrances to the new and redeveloped multi-unit buildings shall incorporate weather protection features such as canopies, awnings, overhangs and recessed entrances. These features shall be a minimum of 0.6m from the curb face and will be located a minimum of 2.5m above grade.
- e) Parking located at the side of the building must be screened by decorative fencing and/or landscaping and shall not exceed 30% parcel width at the front property line.

iii. Downtown Living

- a) New and redeveloped buildings with similar or mirrored front elevations must be separated by a minimum of two buildings along the same side of the street, unless the finishing materials, architectural styles and treatments are substantially different in the opinion of the Development Authority.
- b) A minimum of 60% of a building's length along the front lot line shall be within the permitted setback.
- c) For Commercial Block, Commercial Office, Inn, Mixed-Use Building, Single Structure Commercial Pad, and Storefront buildings, a minimum of 60% of the ground floor façade area between 1.0m and 2.0m above grade and adjacent to a public street, park, or open space shall be comprised of windows, doors, or transparent glazing;



iv. Civic Precinct

- a) The siting and appearance of all buildings or improvements, and the landscaping of the site, shall be to the satisfaction of the Development Authority. Buildings shall also be in general conformity with adjacent buildings, and adequate protection shall be afforded to the amenities of adjacent buildings and sites.
- b) Redevelopment of a site shall contribute to the civic function by incorporating publicly accessible open space features such as plazas, forecourts, landscaped areas, or seating for community gathering.

(8) OTHER REGULATIONS

i. Access

- a) For new development and development involving significant redevelopment, where a site abuts a lane at the Rear Lot Line, vehicular access must be from the lane. Existing access from the Street shall be removed.

ii. Urban Agriculture

- a) Urban Agriculture shall be in accordance with Section X _____ of this Bylaw.
- b) In the Dennis Avenue sub-place area, Urban Agriculture shall not be permitted in the front yard setback.

iii. Landscaping

- a) Landscaping on the site shall be in accordance with Section X _____ of this Bylaw.
- b) In the Downtown Living and Civic Precinct sub-place areas, one tree for each 100.0m² and one shrub for each 40.0m² of landscape area shall be provided.

iv. Fences, Walls, and Hedges

- a) Fences, walls and hedges in this district shall be in accordance with Section x.x of this bylaw.
- b) In the Dennis Avenue sub-place type, Fences are not permitted in the Front Yard

v. Applicability of the Regulations

- a) The regulations of this district are designed primarily for new and redeveloped buildings as well as for significant redevelopments of existing buildings. As such, existing buildings developed prior to this Land Use Bylaw coming into place [DATE] will not be considered non-conforming.
- b) For this District, "significant redevelopment" refers to any development that includes an addition to the building's floor area and/or improvement to over 50% of the public facing Façade/s.

DRAFT

Appendix 1: Design Performance Evaluation Framework

(1) INSTRUCTIONS FOR APPLICANTS

a) Purpose of the Framework

The Design Performance Evaluation Framework is intended to assist applicants and the Development Authority in evaluating how a proposed development addresses urban design quality and mitigates potential impacts arising from site conditions, requested variations, or deficiencies relative to the development standards of this District.

The framework is organized around five key urban design qualities identified by the City: imageability, visual enclosure, human scale, permeability, and complexity. Each quality is impacted by specific contextual and site-level design factors:

- **Factors That Enhance:** Includes positive factors, quantitative metrics and targets.
- **Factors That Erode:** Includes negative factors, quantitative metrics, and thresholds to identify detrimental design features.

Together, they provide a structured way to evaluate how a proposed development contributes to legibility, spatial definition, pedestrian experience, connectivity, and visual richness within the Downtown Core.

The Design Performance Evaluation Framework is an evaluation tool, not a regulatory standard, not a scoring exercise intended to justify non-compliance with development standards. Its purpose is to support clear, reasoned decision-making by documenting how design responses could enhance the urban design qualities of a project..

b) When the Framework Is Required

Applicants shall complete the Design Performance Evaluation Framework, where:

- The applicant is unable to meet one or more regulations established within Section 7. Building Character and Design and the Development Authority requests additional design justification to support discretionary decision-making.

c) How to Complete the Framework

For each design quality identified in the framework (imageability, visual enclosure, human scale, permeability, and complexity), the applicant shall provide the following information:

1. Design Evaluation

Describe how the proposed development addresses the relevant design quality, having regard to site context, surrounding development, and the objectives of the Downtown Core District.

This evaluation should be factual and descriptive. It should identify relevant design features, spatial relationships, and site characteristics without relying on general statements of design intent.

2. Identified Deficiency or Requested Variation

Where applicable, applicants shall clearly identify:

- a) the specific regulation in Section 7: Building Character and Design that is not met, or
- b) the specific variation being requested to a regulation in Section 7: Building Character and Design.

If no deficiency or variation is associated with a particular design quality, this should be stated explicitly.

3. Identified Deficiency or Requested Variation

Applicants shall describe the potential impact that may arise as a result of the identified deficiency or requested variation.

This description should focus on *effects*, not on compliance.

4. Impact Mitigation Rationale

Applicants shall explain how the proposed design mitigates, reduces, or offsets the identified potential impact. This explanation must establish a clear relationship between specific design responses and the impact being addressed.

Where mitigation relies on multiple design qualities acting together, applicants should reference all relevant rows of the framework.

Statements that rely solely on overall design quality, architectural merit, or aesthetic preference, without explaining how impacts are mitigated, are insufficient.

d) Use of Scoring or Ratings

For each quality outlined in Table 1 of Appendix 1, the applicant can get +1 point for incorporating the factors that enhance the applicable design quality. At the same time a -1 point would be applied if the proposed design includes a design feature that may erode the applicable design quality. The applicant is expected to achieve the minimum threshold of +4 points per quality and the overall score of 25 for all five qualities. The final score for the proposed design can be calculated by completing Table 2 included in Appendix 1.

If the applicant successfully demonstrates that the proposed design achieves the minimum threshold established in Table 3 of Appendix 1 and provides the supporting rationale outlined in subsection c) above, the Development Authority may use its discretion to accept design solutions other than those established in Section 7: Building Character and Design.

e) Relationship to Decision-Making

Completion of the Design Performance Evaluation Framework does not guarantee approval of a development permit. The Development Authority will assess the framework as part of a broader evaluation that includes:

- compliance with applicable development standards;
- the magnitude of any requested variation;
- consistency with the objectives of the Downtown Core District; and
- the statutory tests set out in the Municipal Government Act.

Applicants are encouraged to provide clear, concise, and site-specific information to support this assessment.

f) Key Principles for Applicants

Applicants should be guided by the following principles when completing the framework:

- Design quality does not replace compliance, but may mitigate impacts arising from limited non-compliance.
- Mitigation must be explained, not assumed.
- Strong performance in one design area does not negate the need to address impacts arising from deficiencies in another.
- Clear reasoning is more important than numerical outcomes.

Table 1: Design Performance Matrix

| | Element | Metric | Target | Points |
|-----------------------------|---|--|--|--------|
| Imageability | | | | |
| Factors that enhance | | | | |
| Context | Distinctive Design Elements (Character) | The presence of cultural or historical elements that define the area's identity | Incorporate at least one design feature within the site that reflects the cultural, historical, or local character of Fort Saskatchewan or the Historic Downtown and visibly contributes to the public realm. | +1 |
| Site | Appropriate Signage | Percentage of building facade covered by signage | Signage covers less than 10% of the overall building facade and less than 5% of the facade at ground level | +1 |
| | Public-Private Transition | Percentage of site frontage that contains elements/features that contribute to the public-private transition | Trees, shrubs, and landscaping features including, seating, pedestrian-scale signage, or other pedestrian-friendly elements are between the building front and the front property line for at least 80% of the site frontage where an entrance is not present. | +1 |
| | Visual Contrast | The degree of contrast between elements on the site or building | High-contrast design elements and colour features in at least 30% of the public facing facades | +1 |
| | Active Ground-Level Uses | Proportion of ground-floor spaces used for active functions (e.g., retail, cafés, residential entrances/patios, restaurants, cultural activities). | At least 80% of the ground-floor frontage is dedicated to active uses providing eyes on the street. | +1 |
| Factors that erode | | | | |

| | | | | |
|-----------------------------|---|--|--|----|
| Context | Lack of Distinctive Design Elements (Character) | The absence of cultural or historical elements that define the area's identity | Building does not incorporate at least one element per building or structure on the site that reflects the cultural, historical, or local character of the site or the precinct in which the site is located | -1 |
| Site | Visual Clutter | Percentage of building facade covered by signage | Signage covers more than 30% of the overall building facade and more than 20% of the facade at ground level | -1 |
| | Lack of Visual Contrast | The degree of contrast between elements on the site or building | High-contrast elements in less than 10% of public facing facades. | -1 |
| | Lack of Defined Edges | Percentage of site frontage that contains elements/features that contribute to the public-private transition | Trees, shrubs, and landscaping features including, seating, pedestrian-scale signage, or other pedestrian-friendly elements, are provided in the frontage zone between the building front and property line for less than 30% of the site frontage where an entrance is not present. | -1 |
| | Lack of Active Ground-Level Uses | Proportion of ground-floor spaces used for active functions (e.g., retail, cafés, restaurants, cultural activities). | Less than 30% of the ground-floor frontage is dedicated to active uses, providing eyes on the street. | -1 |
| Visual Enclosure | | | | |
| Factors that enhance | | | | |
| Context | Framing of Public Spaces/ Realm | Building heights around open public spaces/ realm adjacent to the site | Building height is at least 2 stories for at least 80% of any site edges adjacent to public spaces/ realm | +1 |
| Site | Continuous Street Frontage | Percentage of site frontage occupied by building | Building front façade a minimum of 80% of the length of the site | +1 |
| | Proportionate Building | The ratio of building height to | The height of the principal building is at least 0.5 times the width of the adjacent | +1 |

| | | | | |
|---------------------------|-----------------------------------|---|---|----|
| | | street width | public Street | |
| | Minimized Setbacks | Setback depth | The building is set back no more than 1.0m from the property line. | +1 |
| | Front Yard Activation | Incorporation of urban design/ pedestrian friendly features | At least one design feature such as patio, plaza, or interactive public art/ activity is provided in the front yard. | +1 |
| | Front Façade Activation | Incorporation of architectural features and art. | Front façade accommodates design features such as public art, decorative beams and columns, cornices, lighting, dormer windows, protruding balconies that compliment the building and create visual interest. | +1 |
| Factors that erode | | | | |
| Context | Lack of Public Space Framing | Building heights around open/public spaces adjacent to the site | Building height is less than 2 stories for more than 50% of any site edges adjacent to public spaces | -1 |
| Site | Large Gaps between Buildings | Percentage of site frontage occupied by building | Building front less than 60% of the length of the site | -1 |
| | Disproportionate Building | The ratio of building height to street width | The height of the principal building is less than 0.3 times the width of the adjacent public Street. | -1 |
| | Excessive setbacks | Setback depth | Majority of the building front facade is set back more than 3.0m from the edge of the site along Dennis Avenue. | -1 |
| | <i>Non-engaging Front Yard</i> | Lack of urban design/ pedestrian friendly features | Urban design elements such as patio, plaza, public art, or complimentary interactive art are not provided. | -1 |
| | <i>Non- Engaging Front Facade</i> | Lack of unique architectural elements and art | Unique and enhancing architectural treatments above standard architectural elements are not provided. | -1 |
| Human Scale | | | | |

| Factors that enhance | | | | |
|-----------------------------|--|--|--|----|
| Context | Lighting | Presence and frequency of pedestrian-scaled lighting on site | Minimum one feature per 5m providing illumination for front yard and facade | +1 |
| | Provision of street furniture | Pedestrian friendly street furniture | Minimum one bench or other seating features for every 10m of site frontage | +1 |
| Site | Pedestrian Focus | Location of vehicle access and parking, and vehicle visibility | All vehicle parking and vehicle access onto the site is located at the rear of the property and is at least 80% screened from roadways adjacent to the site. | +1 |
| | Weather Protection | Presence of cover or other overhead protection for users to seek shelter from the rain, snow, or other weather | At least 60% of front facade that provides overhead shelter for pedestrians. | +1 |
| | Transparency (Visual Connection) | Percentage of ground-floor facade covered by transparent materials (e.g., windows or glass doors). | Minimum 70% of the ground-floor facade is transparent. | +1 |
| | Step-backs for taller buildings | Height of building from street level to the lowest step-back | Sections of any building above 15m in height are step-backed a minimum of 3.0m from the edge of the site | +1 |
| | Facade projecting elements / horizontal articulation | Presence of balconies, awnings, pergolas, or other elements that project from the building facade | Balconies, awnings, pergolas, or other elements that noticeably project from the building facade are present at regular intervals. | +1 |
| Factors that erode | | | | |
| Context | Lack of Lighting | Presence and frequency of | Less than one lighting feature providing illumination for the front yard or facade for | -1 |

| | | | | |
|-----------------------------|---|---|--|----|
| | | pedestrian-scaled lighting on site | every 20m of site frontage | |
| | Absence of seating areas | Frequency of benches or other seating the front yard | Less than one bench or other seating feature in the public realm for every 20m of site frontage | -1 |
| Site | Lack of Pedestrian Focus | Location of vehicle access and parking, and vehicle visibility | Vehicle parking and vehicle access is not located at the rear of the property | -1 |
| | Lack of Weather Protection | Absence of cover or other overhead protection for users to seek shelter from the rain, snow, or other weather | Less than 30% of front facade that provides overhead shelter for pedestrians. | -1 |
| | Lack of visual connection | Percentage of ground-floor facade covered by transparent materials (e.g., windows or glass doors). | Less than 30% of the ground-floor facade is transparent. | -1 |
| | Imposing Scale (Building Height) | Height of building from street level to the lowest step-back | Sections of any building above 15m in height are not step-backed to a minimum of 2.0m from the edge of the site | -1 |
| | Monotonous facade without any vertical articulation | Absence of balconies, awnings, pergolas, or other elements that project from the building facade | Balconies, awnings, pergolas, or other elements that noticeably project from the building facade are not present at regular intervals. | -1 |
| Permeability | | | | |
| Factors that enhance | | | | |
| Site | Entries & Paths through the site | Presence of pathway connections between | Every entrance is directly connected to the public sidewalk through universally accessible pathway. | +1 |

| | | | | |
|-----------------------------|---|--|--|----|
| | | entryways and public sidewalks | | |
| | Permeable Landscaping / Fencing (Visual Connectivity) | Proportion of barriers that maintain sightlines | 80% view into publicly accessible and outdoor spaces is un-obstructed or transparent. | +1 |
| | Extensive Entry Points (Building) | Number of pedestrian entrances per length of building façade. | At least one pedestrian entrance for every 10 metres of a building façade. | +1 |
| | Entrance /Path Legibility. | Presence of visual markers for each entrance into the site or building | Each building and site entrance is clearly flanked by at least 1 tree/shrub, light feature, or signage on either side. | +1 |
| Factors that erode | | | | |
| Site | Limited Entry points/movement paths | Absence of pathway connections the the public sidewalks | Less than one pathway connection per entrance along front façade to the public sidewalk. Connecting pathways are not universally accessible and less than 0.6m in width. | -1 |
| | Solid Barriers | Proportion of barriers that block sightlines | More than 50% views into publicly accessible and outdoor spaces are obstructed by non-transparent barrier. | -1 |
| | Limited Entry Points (Building) | Number of pedestrian entrances per length of building façade. | Less than one pedestrian entrance for every 15 metres of a building façade. | -1 |
| | Lack of Entrance / Path Legibility | Absence of visual markers for each entrance into the site or building | Less than 50% of building and site entrances are flanked by at least 1 tree/shrub, light feature, or signage on either side. | -1 |
| Complexity | | | | |
| Factors that enhance | | | | |




| | | | | |
|---------------------------|--|---|--|----|
| Context | Street Furniture Diversity | Presence of different types of street furniture | At least 3 of the following street furniture features are provided within or adjacent to the site: <ul style="list-style-type: none"> • Benches, patio, or other seating • Bicycle racks/parking • Waste receptacles • Planters, xeriscaping | +1 |
| Site | Variations in Architectural Elements | Presence of unique facade elements | Use of at least 2 distinct facade design elements that are not utilized on buildings directly adjacent to the site. | +1 |
| | Façade material diversity | Number of different materials utilized in the facade | At least 3 visually distinct materials are utilized in the facade. A material must comprise a minimum of 5% of the facade to count towards this total. | +1 |
| | Varied facades across the building | Number of visually distinct patterns utilized in the building facade Total length of distinct building facade patterns | At least 3 visually distinct patterns and/or colours are utilized along the length of the building facade, or 2 patterns if the site is less than 20m in width. <i>OR</i> Pattern/organization of the building facade is noticeably varied at least every 20m | +1 |
| Factors that erode | | | | |
| Context | Limited Street Furniture Diversity | Presence of different types of street furniture | Less than 2 of the following street furniture features are provided within or adjacent to the site: <ul style="list-style-type: none"> • Benches, patio or other seating • Bicycle racks/parking • Waste receptacles • Planters, xeriscaping | -1 |
| Site | Repetitive Architecture/ Lack of Variation in Architecture) | Lack of unique facade elements, | All facade design elements and front facades are similar to buildings on adjacent lots. | -1 |
| | Monotony in materials (uniform use of materials reduces visual interest) | Number of different materials, colours and patterns utilized in the façade. | Less than 2 visually distinct materials, patters and colours are utilized in the facade. A material, pattern or colour must comprise a minimum of 5% of the facade to count towards this total. | -1 |

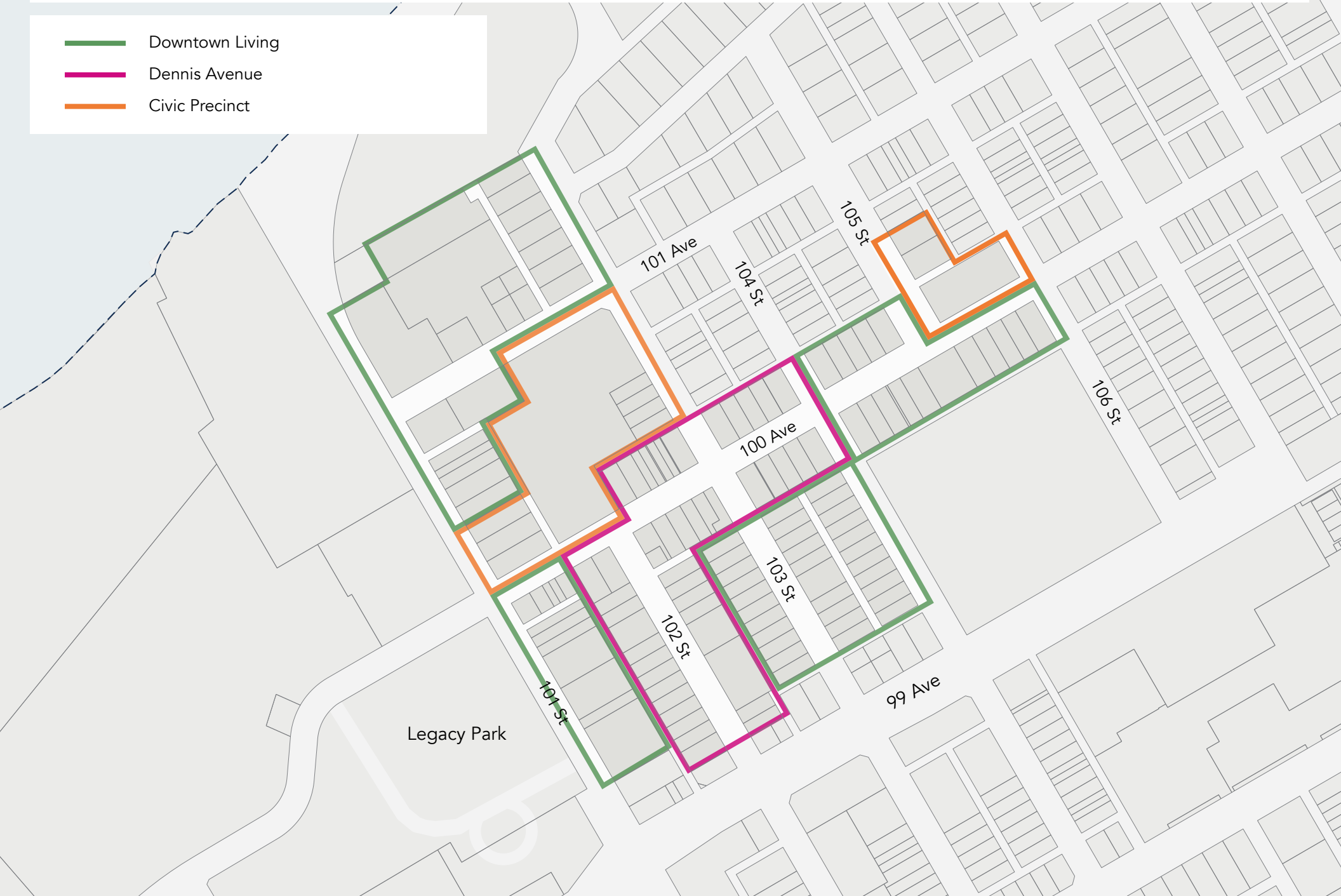
Table 2: Minimum thresholds for each quality and the overall score

| | Quality | Minimum |
|----------|------------------------------|----------------|
| 1 | Imageability | 3 / 5 |
| 2 | Visual Enclosure | 3 / 7 |
| 3 | Human Scale | 3 / 7 |
| 4 | Permeability | 2 / 4 |
| 5 | Complexity | 2 / 4 |
| | Minimum Overall Score | 15/ 27 |

DRAFT ONLY

DCD - Downtown Core District

-  Downtown Living
-  Dennis Avenue
-  Civic Precinct



Use and General Definitions:

Residential

Apartment: means a building containing multiple dwelling units, designed for residential use, and does not conform to the definition of any other Residential Use Class.

Backyard Dwelling: means a self-contained, secondary residential dwelling unit located on the same lot as a principal dwelling, situated behind the primary residence, and within the rear yard area. These units may be attached to or detached from an accessory structure such as a garage, and they include forms such as garage suites or carriage houses. Backyard Dwelling is intended to provide independent living quarters, including sleeping, cooking, and sanitation facilities, while remaining subordinate to the principal dwelling."

Detached Dwelling: means a single, freestanding building to facilitate habitation for its occupants and accommodating one principal dwelling unit. This building type is characterized by its separation from other permanent structures, having open space on all sides, and typically includes ancillary spaces and objects (such as driveways, sidewalks, gardens, or yards) that are integral to residential use.

Duplex: means a single building divided into two dwelling units, separated by a vertical demising wall, designed for residential use, each facilitating habitation for its occupants. The structure is surrounded by open space on all sides, and typically includes ancillary spaces or developments (such as driveways, sidewalks, gardens, or yards) that are integral to residential use.

Internal Secondary Suite: means a secondary, self-contained residential dwelling located within the structure of the principal residential dwelling. This unit provides independent living quarters, including facilities for cooking, sleeping, and sanitation, and may be located on any floor of the principal dwelling, including but not limited to basements, attics, or other internal spaces. The unit remains subordinate to the principal dwelling and is intended to function as an additional, independent living space.

Laneway Dwelling: means a self-contained residential unit located wholly within the Rear Yard. Laneway Dwellings are permitted only on corner lots where servicing is available from the abutting street.

Stacked Duplex: means a single structure designed for residential use, intended to facilitate habitation for its occupants, with two principal dwelling units arranged vertically. The building type is characterized by each unit's individual and separate access. The structure is surrounded by open space on all sides, and typically includes ancillary spaces or objects (such as driveways, sidewalks, gardens, or yards) that are integral to the residential use.

Stacked Townhousing: means a building that is comprised of four or more dwelling units designed for residential use, each facilitating habitation for its occupants. Dwelling units are arranged with at least one dwelling unit located totally or partially above another dwelling unit. All dwelling units shall have a separate, direct entrance from the exterior, ensuring individual access for each unit.

Townhousing: means a building that contains 3 or more small-scale units designed for residential use, each facilitating habitation for its occupants. Units are joined in whole or in part at the side, the rear, or the side and the rear, with none of the units being placed over another. Each unit has separate, individual, and direct access to ground level.

Commercial

Large Scale Retail Centre: means a structure purposefully designed with a minimum footprint of 5,000 square meters to accommodate consumer-facing operations. The built form is characterized by its capacity for significant space to accommodate a large quantity of goods and services readily accessible by customers. Such a facility is typically standalone and incorporates the infrastructure needed to support high-volume customer traffic and large-scale retail functions. Large Scale Retail Centre includes the following activities: Business Support Services, Warehouse Sales, Indoor Recreation, and General Retail.

Single Structure Commercial Pad: means a standalone, single-occupant building characterized by a smaller footprint and scale compared to a Large Scale Retail Centre. Designed to support a variety of commercial and service-oriented uses, this structure is typically adaptable to businesses and services requiring individual access, efficient operational space, and customer interaction. The building accommodates the following activities: Brewery, Winery, and Distillery; Business Support Services; Community Service Facilities; Custom Manufacturing Establishments; Eating and Drinking Establishments; Entertainment Facilities; Government Services; Greenhouse; Health Services; Personal Services; Pet Care Services; Personal Service; Professional and Financial Offices; Indoor Recreation Centres; General Retail; Commercial Schools; Childcare Facilities; Places of Worship; and Veterinary Clinics.

Strip Mall: means a low-rise commercial structure containing two or more front-facing units, each designed to accommodate a range of independent businesses and services. These units are typically aligned in a linear configuration, sharing common parking and pedestrian access, and are accessible directly from the exterior. Strip Mall includes the following Activities: Brewery, Winery, and Distillery; Business Support Services; Childcare Services; Commercial Schools; Community Service Facilities; Custom Manufacturing Establishments; Eating and Drinking Establishments; Entertainment Facilities; Government Services; Health Services; Personal Services; Pet Care Services; Professional and Financial Offices; Indoor Recreation Centres; General Retail; and Veterinary Clinics.

Storefront: means a single-story building, which may include a mezzanine, designed specifically for ground-floor retail or service uses that prioritize pedestrian access and engagement. This structure is characterized by its Pedestrian-Priority Frontage, offering direct access and visibility from public walkways to encourage foot traffic and street-level interaction. Intended to accommodate pedestrian-focused and street-oriented functions, the storefront provides a conducive space for small-scale shops and services. A Storefront accommodates the following activities: Brewery, Winery, and Distillery; Business Support Service; Community Service Facility; Eating and Drinking; Entertainment Facility; Government Service; Health Service; Personal Service; Pet Care Service; General Retail; and Veterinarian.

Commercial Block: means a multi-storey structure designed for a vertical mix of commercial and service-oriented functions, prioritizing Pedestrian-Friendly Frontage. The ground floor is reserved for retail or service uses that engage directly with public walkways, enhancing street-level activity through easy access and high visibility. Upper floors accommodate business support services, professional offices, health services, and other functions with similar land use impacts. The building supports a variety of small-scale shops and services that contribute to an active and vibrant streetscape. Activities within a Commercial Block include: Business Support Services, Childcare Facilities, Commercial Schools, Community Services, Eating and Drinking Establishments, Entertainment Facilities, Government Services, Health Services, Professional and Financial Offices, and Personal Services.

Commercial Office Building: means a multi-story structure designed exclusively for non-residential activities across all floors. These buildings are designed to accommodate a range of non-residential activities. Floors are configured for flexible office layouts to accommodate non-residential functions. Activities include business support services; commercial schools; eating and drinking establishments; health services; personal services; professional, financial, and office services; and general retail (convenience and general).

Mixed Use Building: means multi-storey structure designed to integrate a vertical mix of commercial, service, and residential functions, with residential units above the ground floor and an emphasis on pedestrian-priority frontage at the ground level. The ground floor is reserved for retail or service uses, providing direct access and visibility from public walkways to enhance foot traffic and foster street-level engagement. Upper floors are dedicated to residential uses. Live/Work units must ensure a pedestrian-priority frontage is maintained. A Mixed Use Building includes the following Activities: Above Ground Floor Housing, Childcare Facilities, Eating and Drinking Establishments, Health Services, Live/Work Units, Personal Services, Professional and Financial Offices, and General Retail.

Inn: means a development dedicated to provide guest rooms or suites for a range of stay durations. The built form typically includes shared amenities which may include concierge services, cleaning services, meeting rooms, dining facilities, and other guest or resident services. This development is designed to cater to travelers, tourists, and those requiring longer-term accommodations, including supportive housing, assisted living, or temporary housing. Typical examples include hotel, motel, or apartment hotel.

Industrial

Office Industrial Building: means a low- to mid-rise building designed to accommodate a combination of professional, research, and testing functions within a unified structure. These buildings are characterized by their adaptable, utilitarian design that supports both knowledge-based office work and industrial support activities. Activities include: Business Support Services; Professional and Financial Offices; Health Services, Contractor Services; Eating and Drinking Establishments, Government Services, and Commercial Schools.

Light Industrial Building: means a building specifically designed to support a range of industrial or commercial activities whereby any adverse effects are contained to the building itself. Activities include:

- a) Processing of raw or finished materials;
- b) Manufacturing or assembly of goods, products, or equipment;
- c) Cleaning, servicing, repairing, or testing of materials, goods, and equipment associated with industrial, commercial, or household use, where operations present impacts typically incompatible with non-industrial Land Use Districts;
- d) Storage or transshipment of materials, goods, and equipment;
- e) Distribution and sale of materials, goods, and equipment directly to institutions, industrial, and commercial businesses, or for resale by General Retail Stores or other sales Use Classes as defined in this Bylaw;
- f) Training of personnel in general industrial operations.

Excluded from this definition are Cannabis Production and Distribution Facility, Retail Store (Cannabis), and any other cannabis-related uses, focusing on a broad spectrum of light industrial activities that contribute to the economic fabric without extending to the retail of controlled substances.

Industrial Flex Building: means a building designed with individual units, featuring rear loading areas and front office and/or customer access. Units within the building are allocated for a combination of functions: the back portion for warehousing, manufacturing, or similar light industrial activities, and the front portion for office spaces and customer service areas. This layout supports operational needs for light industrial processes, including manufacturing, warehousing, repair, testing, and logistics, alongside administrative and customer-facing functions. The design facilitates efficient use of space for businesses that engage in both production and client services within the same premises. Activities include: Brewery, Winery, and Distillery; Commercial School; Custom Manufacturing; Entertainment Facility; General Industrial; Kenel; Private Club; Professional, Financial and Office; Recycling Facility; Storage Facility; Vehicle Repair; Warehouse Sales, Warehouse Distribution and Storage; and Veterinarian.

Light Industrial Development: A development characterized by the parking, or storage of goods, materials, or equipment that does not require any permanent building or significant structure on-site. Activities include outdoor storage, parking facilities, and recycling depots. Despite the absence of buildings, any potential external impacts such as noise, odour, or dust must be managed to ensure they do not extend beyond the developed area. Outdoor areas must be screened or enclosed where necessary to minimize visual and environmental impact.

Medium Industrial Building: A building designed to facilitate a variety of industrial or commercial activities, whereby any objectionable, hazardous, or externally perceptible conditions do not extend beyond the site boundaries. Functions associated with this use include:

- a) Processing of raw or finished materials;
- b) Manufacturing or assembly of goods, products, or equipment;
- c) Cleaning, servicing, repairing, or testing of materials, goods, and equipment for industrial, commercial, or household purposes, specifically designed to contain impacts within industrial Land Use Districts;
- d) Storage or transshipment of materials, goods, and equipment;

- e) Distribution and sale of materials, goods, and equipment to institutions or industrial and commercial businesses, or for resale by General Retail Stores or other defined sales Use Classes;
- f) Training of personnel in general industrial operations.

Excluded from this definition are Cannabis Production and Distribution Facility, Retail Store (Cannabis), and any other cannabis-related uses, maintaining a focus on a broad range of industrial activities that do not extend undesirable effects beyond the site.

Medium Industrial Development: means a development characterized by the processing, manufacturing, assembling, parking, or storage of goods, materials, or equipment that does not require any permanent building or significant structure on-site. Activities include outdoor storage, parking facilities, and recycling depots. Despite the absence of buildings, any potential external impacts such as noise, odour, or dust must be managed to ensure they do not extend beyond the site boundaries.

Heavy Industrial Development: means the processing, manufacturing, or compounding of materials, products, or energy, or any industrial activities which because of their scale or method of operation regularly produce noise, heat, glare, dust, smoke, fumes, odors, vibration, or other external impacts detectable beyond the lot lines of the property. Heavy industrial uses can regularly employ hazardous material or procedures or produce hazardous by-products, include outdoor storage areas, and may have activities that take place outside of structures.

Civic

Indoor Assembly: means a building designed for the gathering of individuals to conduct organized services, meetings, events, or programs that serve to benefit, educate, entertain, or promote discourse among participants. Such facilities may be used in both public and private capacities. Activities include: community centres, places of worship, funeral homes, meeting or lecture halls, exhibition rooms, theatres, halls, and auditoriums.

School: A building or group of buildings designed for public assembly, intended for the purpose of public education, training, or instruction. The built form is typically characterized by large, adaptable spaces such as classrooms, lecture halls, laboratories, and recreational facilities, all structured to accommodate various educational activities. The building may also include specialized areas administrative offices or portable additions required to support the adaptability and/or support functions. Schools are designed with general public use in mind and are generally equipped with infrastructure to support large groups, such as auditoriums, libraries, and sports facilities. Activities include public and separate primary and secondary schools, community colleges, universities, and technical and vocational schools. This use specifically Commercial Schools. This definition is not exclusive to any School Board; the use of the word “public” is not an inference any particular school board.

Public Service Building: means a building or group of buildings designed to accommodate public functions and services that serve the community at large. These structures are typically designed for durability, accessibility, and efficiency, ensuring that they can support a wide range of public-oriented activities. Public Service buildings may include fire halls, police stations, libraries, city

halls, hospitals, and other government or emergency response facilities. The built form typically incorporates specialized spaces such as emergency response bays, public assembly rooms, administrative offices, and service counters. Activities include: Community Service Facilities, Emergency Response, Government Services, and Hospitals.

Urban Agriculture and Sustainability

Agriculture: means the raising of crops or the rearing of livestock, either separately or in conjunction with one another. Typical functions include farming, horticulture, apiculture, and silviculture. It does not include minor intensive livestock agriculture, intensive horticulture agriculture, or any cannabis-related uses, such as Cannabis Production and Distribution Facilities or Retail Stores (Cannabis).

Renewable Energy Installation: means a standalone development dedicated to the generation, storage, and distribution of renewable energy from sources such as solar, wind, or geothermal energy. This use operates independently and may include facilities such as solar farms, wind energy systems, or other renewable energy systems that are not tied to any other principal building or use.

Community Garden: A shared area of land dedicated for the growing of vegetables, fruits, flowers, or other plants for personal or collective use. Community gardens may be organized and managed by a community organization or group of residents and are typically located in urban or suburban settings.

Urban Agriculture: means the practice of cultivating, growing, processing, and distributing food and other products in and around urban areas. Urban Agriculture encompasses a variety of activities including, but not limited to, aquaponic gardens, community gardens, greenhouses, hoop houses, and rooftop gardens. These activities may involve the growing, acclimating, propagating, harvesting, displaying, and selling of plants, including bedding, edible, household, and ornamental plants. Urban Agriculture may also include accessory uses related to the storage, display, and sale of gardening, nursery, and related products. This use excludes Cannabis Production and Distribution Facilities, Retail Store (Cannabis), and any other cannabis-related uses.

Open Space:

Park and Natural Areas: Land designated for outdoor recreation, the protection of natural features, or areas of cultural, ecological, or scenic value. This includes parks, environmentally sensitive areas, wilderness areas, ecological reserves, archaeological sites, playgrounds, municipal reserves, and landscaped areas. These areas may support activities such as walking paths, playgrounds, and picnic areas, with minimal facilities like public washrooms.

General:

Development with Shared Access: Means a land development that shares one or more vehicle accesses to a Street rather than each lot having their own separate access to a Street.

Reverse Fronting Site: Means a Site that abuts two streets that are parallel or nearly parallel.

Activities Definitions:

Agriculture: means the raising of crops or rearing of livestock, either separately or in conjunction with one another. This may include apiculture, aquaculture and vermiculture. This does not include an equestrian centre, minor intensive livestock agriculture or intensive horticulture agriculture. This Use does not include Cannabis Production and Distribution Facility, Retail Store (Cannabis) or any other cannabis related uses.

Agriculture, Intensive Horticulture: means the primary and basic production and processing (i.e. cleaning, sorting, separating, grading or packing) of horticultural products such as vegetables, herbs and orchards, for sale on or off site. Typical uses include berry farms, tree farms, sod farms, plant nurseries and market garden operations. This does not include minor livestock agriculture, an agricultural product stand or a greenhouse. This Use does not include Cannabis Production and Distribution Facility, Retail Store (Cannabis) or any other cannabis related uses.

Agriculture, Product Processing: means a premise for the purpose of processing agricultural products including:

- (a) Mixing, drying, canning, size reduction, fermentation, heat treatments, cold treatments, chemical treatments, biological treatments of plant matter; or
- (b) Cutting, curing, smoking, aging, wrapping or freezing of meat

This Use does not include Cannabis Production and Distribution Facility, Retail Store (Cannabis) or any other cannabis related uses.

Agricultural Support Service: means the use of land, buildings or structures for the purposes of supply of goods, material or services directly and primarily to the agricultural industry. This may include, but is not limited to the sale, cleaning and storage of seed, feed, fertilizer and chemical products and the repair of agricultural equipment.

Assisted Living facility: means accommodation with flexible 24 hour on-site personal care and oversight with scheduled access to professional services, including a Licensed Practical Nurse and Registered Nurse. Residents receive room and board services, light housekeeping services, assistance, personal care and social and recreational support. Settings are therapeutically designed to offer comfort and safety to clients who are fearful, who may be at risk for wandering and who need more structure and stimulation. Individual residential units are contained within a larger residence and may contain up to two bedrooms and living area space. Residential units may or may not include cooking facilities.

Auctioneering Facility: means a development intended for the auctioning of goods and equipment, including the temporary storage of such goods and equipment for a period not to exceed 30 days, but does not include farmers/flea markets or second-hand retail stores.

Bed and Breakfast: means the use of an owner-occupied dwelling whereby temporary accommodation is provided to the public for remuneration, for up to 14 days within four or fewer guest rooms, with or without meals.

Boarding Facility: means a development, within a standalone building, used for shared living and containing individual units on a fee-for-service arrangement. This Use Class does not include Assisted Living, Bed and Breakfast, Group Home, Group Home (limited), Hotel, or Motel. For the purposes of this definition, shared living means four or more persons occupying individual units within a congregate living setting and within a building where the occupants share access to facilities such as cooking, dining, laundry, or sanitary facilities.

Breweries, Wineries, And Distilleries: means the manufacturing of beer, wine, spirits or other alcoholic beverages. This Use may include the sale of alcoholic beverages to the public for consumption within the premises. Retail sales of alcoholic beverages for consumption off-Site shall be limited to alcoholic beverages that are manufactured on-Site. Accessory activities may include the preparation and sale of food, storage, packaging, bottling, canning and shipping of products manufactured within the premises.

Bulk Fuel Depot: means lands, buildings and structures for the bulk storage and distribution of petroleum products and may include key lock retail sales.

Business Support Service: means development used to provide support services to businesses, typical uses include but are not limited to printing establishments, testing laboratories, janitorial firms, office equipment sales, repair establishments, and sign shops.

Campground: means an area which has been planned and improved to be used and maintained for a seasonal short-term period for campers locating tents, tent trailers, holiday trailers, campers, motor homes, and similar recreation vehicles within a defined area. Related facilities that are accessory to and support the campground such as an administrative office, laundromat, picnic grounds, playgrounds and boating facilities may be included on-site.

Cannabis Lounge: means development where the primary purpose of the facility is the sale of Cannabis to the public, for the consumption within the premises that is authorized by provincial or federal legislation. This Use does not include Cannabis Production and Distribution or Retail Store (Cannabis).

Cannabis Production And Distribution Facility: means development where the primary purpose of the facility is the production and distribution of cannabis that is authorized by provincial or federal legislation. This Use does not include Retail Store (Cannabis) or any other cannabis related uses.

Casino: means a development used for the playing of games of chance, but does not include an Indoor Entertainment Facility, or a drinking establishment in which fewer than 11 video lottery terminals are located.

Cemetery: means development of a parcel of Land primarily as landscaped open space for the entombment of the deceased, and may include the following accessory developments: crematoria, columbaria and mausoleums. Typical uses include memorial parks, burial grounds and gardens of remembrance.

Child Care Facility: means a development licensed by the Province to provide personal care, maintenance, supervision or education to 7 or more children. This includes daycare centres,

nurseries, kindergartens, nursery schools and play schools and other similar uses but does not include an institution operated by or under the authority of the Province.

Commercial School: means a development used for indoor training and instruction in a specific trade, skill, artistic endeavour, or service for the financial gain of the individual or company owning the school. Typical uses include secretarial, business, hairdressing, beauty, culture, art, dance or music schools.

Community Garden: means a plot of land used by a group of community members to grow vegetables and fruit for personal use and consumption.

Community Service Facility: means a development for use by the public or public groups for cultural or community activities. Typical uses include museums, libraries, YM/YWCA, tourist information/interpretive centres and multi-purpose facilities and public and Private Clubs.

Contractor Service: means development used for the provision of building construction, landscaping, concrete, and electrical, excavation, drilling, heating, plumbing, paving, road, sewer or similar services of a construction nature which require on-site storage space for materials, construction equipment or vehicles normally associated with general contracted services. Any sales, display, office or technical support services are accessory to the principal contractor services and are regulated in accordance with the regulations of use and Land Use District regulations where the development is located. This use shall not include any on-site manufacturing activities.

Cottage Industry: means a Development for the operation of low intensity, small scale activities of a gainful nature demanding a skilled trade or craft or related to an agricultural and/or horticultural operation on an agricultural parcel. Cottage Industry maintains and is compatible with the agricultural character of the surrounding landscape. Typical Cottage Industry requiring skilled trade may include workshops and creative arts that may include space for selling custom made products or offering related services. Typical agriculture and horticulture related Cottage Industry may include growing, packing and sale of food products, small-scale wineries and breweries

Crematorium: means a development fitted with equipment for the purpose of the cremation of human or pet remains and may include associated facilities for the preparation of the dead human body for internment or cremation.

Custom Manufacturing Establishment: means development used for small scale on-site production of goods by hand manufacturing, primarily involving the use of hand tools and provided such developments have fewer than five production employees. Typical uses include jewelry, toy and musical instrument manufacturing, gunsmiths, woodworking and pottery and sculpture studios.

Dating and Escort Service: means any business activity that offers to provide or does provide introductions from a person or persons to another person or persons for a period of companionship of short duration, for which service or introduction a fee is charged or imposed for each occasion companionship is provided or an introduction is made.

Day Home: means an accessory use that may be licensed by the Province, in a dwelling unit that is intended to provide temporary care, educational services and supervision to six or fewer children that shall follow the regulations of the Province.

Detention and Correctional Service: means a development used to hold, confine or to provide regulated or temporary residential facilities for minors or adults either awaiting trial on criminal charges or as part of the disposition of criminal charges, or released from custody under the supervision of the National Parole Board, a parole or probation Officer or similar authority. Typical uses include a remand centre, jail or halfway house.

Eating and Drinking Establishment: means a development where prepared foods and beverages are offered for sale to the public, for consumption by dining in or taking away. This use includes neighbourhood pubs, restaurants, cafes, delicatessens, tea rooms, lunch rooms, refreshment stands, outdoor cafes and patios, and take-out restaurants. This use does not include Cannabis Lounges.

Emergency Response Service: means a use where police, fire and publicly operated emergency medical services are provided.

Entertainment Facility, Indoor: means an indoor development in which the public participates in and/ or an activity for entertainment or social purposes. This use includes the sale of food and beverages to the patrons and may be licensed by the Province of Alberta for the on-site consumption of alcohol. Without limiting the generality of the foregoing, this land use may include facilities for dinner theatres; theatrical, musical or dance performances; amusement arcades; billiard/pool halls; bingo halls; indoor miniature golf establishment; indoor arts event; indoor exhibition; indoor vegetation or museum exhibit; indoor presentation of exhibits; and Cinemas when combined with any other entertainment facility use. This use does not include Adult Entertainment Facility, Casino, and Late Night Club.

Entertainment Facility, Outdoor: means an outdoor development in which the public participates in and/ or views an activity for entertainment or social purposes. This use includes the sale of food and beverages to the patrons and may be licensed by the Province of Alberta for the on-site consumption of alcohol. Without limiting the generality of the foregoing, this land use may include outdoor theatrical, musical or dance performances; drive in theatres; amusement parks; go-cart tracks; outdoor miniature golf establishments; outdoor arts events and exhibition; animals or vegetation exhibit; exhibits or animal acts. This land use does not include a Late Night Club.

Farmers/Flea Market: means a development used for the sale of new or used goods and food products by multiple vendors renting tables and space either in or out of an enclosed building. Vendors may vary from day to day, although the general layout of space to be rented generally remains the same. Such uses are usually of a seasonal nature.

Funeral Home: means a development used for the preparation of the dead for burial or cremation, and the holding of funeral services.

Government Service: means a development providing Crown Corporation, or municipal, provincial or federal government services directly to the public. Typical uses include, but are not limited to taxation offices, courthouses, postal stations, manpower and employment offices, food banks and

social service offices. This use does not include emergency response service, detention and correctional service or education facilities.

Greenhouse: means a development for the growing, acclimating, propagating, harvesting, displaying and selling of bedding, edible, household and ornamental plants and may include accessory uses relating to the storage, displaying, and selling of gardening, nursery and related products. This Use does not include Cannabis Production and Distribution Facility, Retail Store (Cannabis) or any other cannabis related uses.

Group Home: means a development using a dwelling unit as a facility which is authorized, licensed or certified by a Provincial Authority to provide room and board for seven or more residents, for foster children or for physically, mentally, socially, developmentally, or behaviourally challenged persons and which may be for the personal rehabilitation of its residents either through self-help or professional care, guidance and supervision. The residential character of the development shall be maintained with the residents of the group home living together as a single housekeeping group using shared kitchen facilities. A group home may incorporate accommodations for residential staff as an accessory use.

Group Home (Limited): means a development using a dwelling unit as a facility that is recognized, authorized, licensed or certified by a Provincial Authority as a social care facility intended to provide interim room and board for four to six residents, exclusive of staff, for foster children or disabled persons, or for persons with medical, physical, mental, social or behavioural problems and which may be for the personal rehabilitation of its residents either through self-help or professional care, guidance and supervision. The residential character of the development shall be primary, with residents living together as a single housekeeping group with shared kitchen facilities. This use does not include homes or half-way houses for persons under the jurisdiction of the Federal or Provincial Justice Systems or services such as drug and alcohol addiction treatment centres.

Health Service: means a building or part of a building used for the medical, dental, surgical or therapeutic treatment of human beings, but does not include a public or private hospital or a professional office of a doctor located in his residence. Typical uses include a clinic.

Home Business: means the accessory use of a principal dwelling, or a combination of a principal dwelling and an accessory building, in a residential neighbourhood to operate an enterprise or related uses. This use does not include any cannabis related uses.

Home Office: means an accessory use located within a dwelling unit for the purpose of office uses. This use does not include any cannabis related uses.

Hospital: means an institutional development used to provide in-patient and out-patient health care to the public. Typical developments include a community health centre and a full service hospital.

Hotel: means a development used for the provision of rooms or suites for temporary or short-term accommodation where the rooms have access from a common interior corridor and may be equipped with individual kitchen facilities, and may include accessory eating and drinking establishments, meeting rooms, personal services and retail stores.

Industrial Use, General: means a use which may involve one or more of the following activities:

- (a) The processing of raw or finished materials;
- (b) The manufacturing or assembly of goods, products or equipment;
- (c) The cleaning, servicing, repairing or testing of materials, goods and equipment normally associated with industrial or commercial businesses or the cleaning, servicing and repair of goods and equipment associated with household use, where such operations have impacts that would typically make them incompatible in non-industrial Land Use Districts;
- (d) The storage or transshipping of materials, goods and equipment;
- (e) the distribution and sale of materials, goods and equipment to institutions or industrial and commercial businesses for their direct use or to General Retail Stores or other sales Use Classes defined in this Bylaw for resale to individual customers; or
- (f) The training of personnel in general industrial operations.

This use does not include Cannabis Production and Distribution Facility, Retail Store (Cannabis) or any other cannabis related uses.

Notwithstanding the above, General Industrial Uses may include any indoor display, office, technical or administrative support areas or any sales operation accessory to the General Industrial Use.

Industrial Use, Heavy: means a manufacturing or processing activity that:

- (a) May consume large quantities of land, energy, water or other natural resources in its operation, or that requires access to transportation facilities capable of handling bulk materials or commodities; and
- (b) By the nature of its operation may have off-site effects such as noise, vibration, light, dust, odour, humidity, smoke, fumes, or heavy truck traffic and other impacts affecting the safety, use, amenity and enjoyment of adjacent sites.

Notwithstanding the above, Heavy industrial uses may include any indoor display, office, technical or administrative support areas or any sales operation accessory to the Heavy Industrial Use.

Kennel: means a development for the purpose of boarding small animals normally considered to be household pets, generally for periods of greater than 24 hours, and includes enclosures, pens, runs or exercise areas. This land use may also include training, grooming, impounding/quarantining facilities, animal shelters and retail sale of associated products.

Late Night Club: means any premises or part thereof, the primary purpose of which is to host regular dances, entertainment performances or other live events where:

- (a) No alcohol or alcoholic beverages are available on the premises for consumption or sale;
- (b) 20 or more patrons are assembled at any time between 2:00 a.m. and 6:00 a.m.;

- (c) The events are held for the purpose of gain or profit;
- (d) Tickets are sold or an entrance or attendance fee is charged for persons to attend; and
- (e) Music, noise or sound of any kind or source is emitted, including but not limited to the performing or playing of live music, amplified recorded or computer generated sounds.

Live Work Unit: means a unit that contains one Dwelling, in addition to dedicated floor space for the purpose of conducting work. The work component may or may not be separate and distinct from the Dwelling. This use does not include a Home Office or Home Business.

Manufactured Home: means a prefabricated detached dwelling unit that meets Canadian Standards Association (CSA) standards and meets the requirements of the Alberta Building Code. This applies to both single section and multi-section models, but does not apply to modular construction, recreational vehicles or industrial camp trailers.

Motel: means development used for the provision of rooms or suites for temporary lodging or light housekeeping, where each room or suite has its own exterior access. Motels may include Accessory Eating and Drinking Establishments and Personal Services.

Outdoor Storage Facility: means a site primarily used for the outdoor storage of goods, materials or equipment. Un-serviced buildings or structures are considered Accessory buildings.

Park Model Trailer: means a recreational unit designed for seasonal use. Park Model Trailers are built on a single chassis mounted on wheels, are designed to facilitate occasional relocation and must be connected to utilities to operate installed fixtures and appliances.

Pawn Shop: means the use of premises for the retailing of goods and chattels in pawn.

Personal Service: means a development used for the provision of personal services to an individual which are related to the care and appearance of the body, or the cleaning and repair of personal effects and may include such uses as: barbershops, hairdressers, tattoo parlours, beauty salon, tanning salons, shoe repair shops, laundromats, dry cleaning outlets, but does not include Health Services, retail stores, Service Stations or Adult Entertainment Facilities.

Pet Care Service: means a development where small animals normally considered as household pets are washed, groomed, trained and/or boarded, but not overnight. This land use may also include the retail sales of associated products.

Place of Worship: means a development, including any meeting halls, used for spiritual worship and related religious, charitable, educational or social activities, but does not include a School. Typical uses include churches, chapels, mosques, temples, synagogues, parishes, convents and monasteries.

Private Club: means development used for the meeting, social or recreational activities of members of a non-profit philanthropic, social service, and athletic, business or fraternal organization, without on-site residences. Private Clubs may include lodges as well as rooms for eating, drinking and assembly.

Professional, Financial And Office Service: means development primarily used for the provision of professional, management, administrative, consulting, and financial services. Typical uses include: the offices of lawyers, accountants, engineers, and architects; offices for real estate and insurance firms; clerical, secretarial, employment, telephone answering, and similar office support services; and banks, credit unions, loan offices and similar financial uses.

Public Facility: means any land or buildings owned by the City including lands that are used as public utility lots, playgrounds, recreational areas, public parks, municipal reserves, buffers, boulevards, parkways, ornamental areas or squares.

Recreation Facility, Indoor: means a development providing facilities that are available to the public for sports and recreational activities conducted indoors. Typical uses include indoor swimming pools, hockey rinks, gymnasiums, indoor tennis courts, and indoor athletic fields but does not include indoor gun ranges.

Recreation Facility, Indoor (Restricted): means a development providing facilities that are available to the public for indoor gun ranges. This does not include Recreation Facility, Indoor.

Recreation Facility, Outdoor: means a development providing facilities that are available to the public for sports and recreational activities conducted outdoors. Typical uses include golf courses, outdoor swimming pools, hockey rinks, sports fields, outdoor tennis courts, unenclosed ice surfaces or rinks, athletic fields, boating facilities, bowling greens, and fitness trails but does not include outdoor gun ranges.

Recycling Depot: means a development used for the buying, collecting, sorting and storage of bottles, cans, newspapers and similar household goods for reuse, where all storage is contained within an enclosed building or screened outdoor storage area.

Recycling Drop-Off: means a development used for the collection and temporary storage of bottles, cans, newspapers and similar household goods in unattended containers placed in public areas. All materials shall be contained within the recycling containers and removed periodically for transfer to another facility. This use does not include a recycling depot.

Renewable Energy Device: means a device where energy is derived from sources that are not depleted by using them, such as solar, geothermal, wind and co-generation production of electricity. Typical uses include wind or solar farms.

Renewable Energy Device (Limited): means a device where energy is derived from sources that are not depleted by using them, such as solar, geothermal and wind energy. Typical uses include solar panels mounted or attached to a roof or accessory building.

Research and Development Facility: means a premise used for the purpose of conducting low risk research and development of products or services, but does not include retail or wholesale of these products. Businesses locating in a building or part thereof are generally used by raw material development and testing firms; processed products development and testing firms; and chemical and biological products development and testing firms.

Retail, Office, And Entertainment: means a single Development that includes any one of Business Support Service; Personal Service; Professional, Financial and Office Service; Retail Store

(Convenience); Retail Store (General); and Eating and Drinking Establishment. This Use class is intended for specific Districts within the Downtown.

RETAIL STORE (CANNABIS): means a retail store licensed by the Province to sell cannabis and cannabis accessories to the public, for consumption elsewhere. This use does not include Cannabis Production and Distribution Facility or any other cannabis related uses.

Retail Store (Convenience): means a development used for the retail sale of those goods required by area residents on a day-to-day basis in an enclosed building which does not exceed 371.6m² of public floor area. Typical uses include small food stores, drug stores, video sales and rentals, and variety stores selling confectionery, tobacco, groceries, beverages, pharmaceuticals, and personal care items, hardware or printed matter. This use does not include an Adult Entertainment Facility, Retail Store (Drug Paraphernalia), Retail Store (Cannabis), Cannabis Production and Distribution Facility or any other cannabis related uses.

Retail Store (Drug Paraphernalia): means a development used for the retail sale of any product, equipment, thing or material of any kind primarily used or intended to be used to produce, process, package, store, inject, ingest, inhale or otherwise introduce into the human body a controlled substance as defined in the Controlled Drugs and Substances Act. This use does not include Retail Store (Cannabis), Cannabis Production and Distribution Facility or any other cannabis related uses.

Retail Store (General): means a development used for the retail sale of groceries, household goods, furniture and appliances, clothing, hardware, printed matter, confectionery, tobacco, pharmaceutical and personal care items, video sales and rentals, automotive parts and accessories, office equipment, stationary and similar goods from within an enclosed building. This use does not include Retail Store (Cannabis), Cannabis Production and Distribution Facility or any other cannabis related uses.

Retail Store (Liquor): means a retail store licensed by the Province to sell alcoholic beverages to the public, for consumption elsewhere. Typical uses include spirits, wine and beer stores.

Seasonal Garden Centre: means a temporary structure, which may or may not include fencing, erected on the site of an existing retail store, for the purpose of selling gardening related goods on a seasonal basis.

Semi-Detached Suite: means development consisting of a dwelling unit located within and accessory to a principal semi-detached residential use. This use class includes the development or conversion of basement space to a separate dwelling within a semi-detached housing in the DC(A)-21 District.

Service Station: means development used for the servicing, washing and repairing of vehicles; and the sale of gasoline (both self-serve and full serve), other petroleum products and a limited range of vehicle parts and accessories. Service station may include Eating and Drinking Establishments and/or a Retail Store (Convenience). Typical uses include truck stops and highway service stations. Total above ground storage of all fuel shall be in an amount of 30,000L or less.

Service Station (Limited): means development used for the servicing, washing and repairing of vehicles with a gross vehicle weight of 4,000kg or less; and for the sale of gasoline (both self-serve and full serve), other petroleum products and a limited range of automotive parts and accessories. Service Station (Limited) may include Eating and Drinking Establishments and/or Retail Store (Convenience). This use does not include a Vehicle Repair Facility.

Show Home: means a permanent dwelling that is constructed for the temporary purpose of illustrating to the public the type or character of a dwelling or dwellings to be constructed in other parts of a subdivision or development area. Show homes may contain offices for the sale of other lots or dwellings in the area. A show home may not be occupied by any person for the purpose of residency. This use may include a show suite in a multi-unit development.

Storage Facility: means a self-contained building or group of buildings, containing lockers available for rent for the storage of personal goods or a facility used exclusively to store bulk goods of a non-hazardous nature.

Surveillance Suite: means a single residential unit, forming part of a development, which is accessory to the principal use and is used solely to accommodate persons whose official function is to provide surveillance required for the maintenance and safety of the development.

Temporary Outdoor Event: means a temporary development and associated temporary structures incidental to the principal and permitted use of the site on which they are located. This use shall last no longer than five consecutive days, including the time needed erect and dismantle any temporary structures. Typical uses in Residential Land Use Districts may include, but are not limited to birthday parties, block parties, weddings and other social, cultural, entertainment and worship events. Typical uses in Commercial Land Use Districts may include but are not limited to customer appreciation events, grand openings, sales, Farmers/Flea Markets and other commercial events. Typical uses in Institutional Land Use Districts may include but are not limited to organized sporting events, festivals, carnivals, Farmers/Flea Markets, outdoor church services, and other social, cultural, worship or recreational events.

Temporary Sales Centre: means a temporary building, other than a show home, used for a limited period of time for the purpose of marketing residential land and buildings.

Temporary Shelter Service: means the provision of communal, transient accommodation sponsored or supervised by a public authority or non-profit agency intended to provide basic lodgings for persons requiring immediate shelter and assistance for a short period of time.

Utility Service, Major: means development for public utility infrastructural purposes which is likely to have a major impact on the environment or adjacent land uses by virtue of its emissions, appearance, noise, size, traffic generation or operational characteristics. Typical uses include sanitary landfill sites, sewage treatment plants, sewage lagoons, sludge disposal beds, garbage transfer and compacting stations, power generating stations, cooling plants, district heating plants, incinerators and waste recycling plants.

Utility Service, Minor: means development for public utility infrastructural purposes that are likely to have some impact on the environment or adjacent land uses by virtue of its appearance, noise, size, traffic generation or operational characteristics. Typical uses include vehicle, equipment and

material storage yards for utilities and services; light rail transit stations; transit bus terminals, depots and transfer facilities; surface reservoirs; storm water management facilities, including lakes, wetlands and dry ponds; water towers; power terminal and distributing substations.

Vehicle and Equipment Storage: means development used exclusively for outdoor storage of vehicles, derelict vehicles or parts. Un-serviced buildings or structures are considered Accessory buildings. Typical uses include vehicle or equipment storage compounds.

Vehicle Repair Facility: means a development where mechanical repairs, painting and structural changes or repairs are made to motor vehicles and recreational vehicles including automobiles, trucks, farm machinery, recreational vehicles and heavy equipment, and the sale, installation, servicing or storage of related accessories and parts. This includes truck and heavy equipment shops, body shops, and recreational vehicle repair shops.

Vehicle Repair Facility (Limited): means a development used for the servicing and mechanical repair of motor vehicles with a gross vehicle weight of less than 4,000kg in weight including automobiles, light trucks, utility vehicles, motorcycles, snowmobiles and similar vehicles and the sale, installation or servicing of related accessories and parts. This includes transmission shops, muffler shops, tire shops, automotive glass shops, and upholstery shops. Vehicle Repair Facility (Limited) may operate a Vehicle Wash as an accessory use. This does not include body repair and paint shops.

Vehicle Sales, Leasing or Rental Facility: means development used for the retail sale, service and rental of new or used commercial and industrial vehicles, including farm and heavy equipment related to the agricultural community; including, but not limited to heavy duty trucks, dump trucks, vacuum and welding trucks, cargo and flatbed trailers, tractors, harvesting or threshing machinery, spraying machinery for agricultural use, grain trucks, and all-terrain vehicles.

Vehicle Sales, Leasing or Rental Facility (Limited): means a development used for the retail sale or rental of new or used motor vehicles with a gross vehicle weight of less than 4,000kg including automobiles, recreational vehicles, motorcycles, snowmobiles, tent trailers, boats, travel trailers or similar light vehicles or crafts, together with incidental maintenance services and sale or parts. This land use includes automobile dealerships, rental agencies, and motorcycle dealerships, but does not include dealerships for the sale of recreational vehicles, manufactured homes or large trucks with a gross vehicle weight rating greater than 4,000kg.

Vehicle Wash: means development providing cleaning services to motor vehicles where the customer remains within his vehicle or waits on the premises, unless the facility includes self-service wand wash. Typical uses include automatic/drive through or coin/time operated car washes.

Veterinary Clinic: means a development for the purpose of providing medical care and treatment to small animals normally considered as household pets. The animals shall not be boarded overnight, except for animals in the care of the use where overnight stays are necessary for medical observation or recovery of the animal and the development shall not have any outside enclosures, pens, runs or exercise areas. This land use may also include the retail sale of associated products.

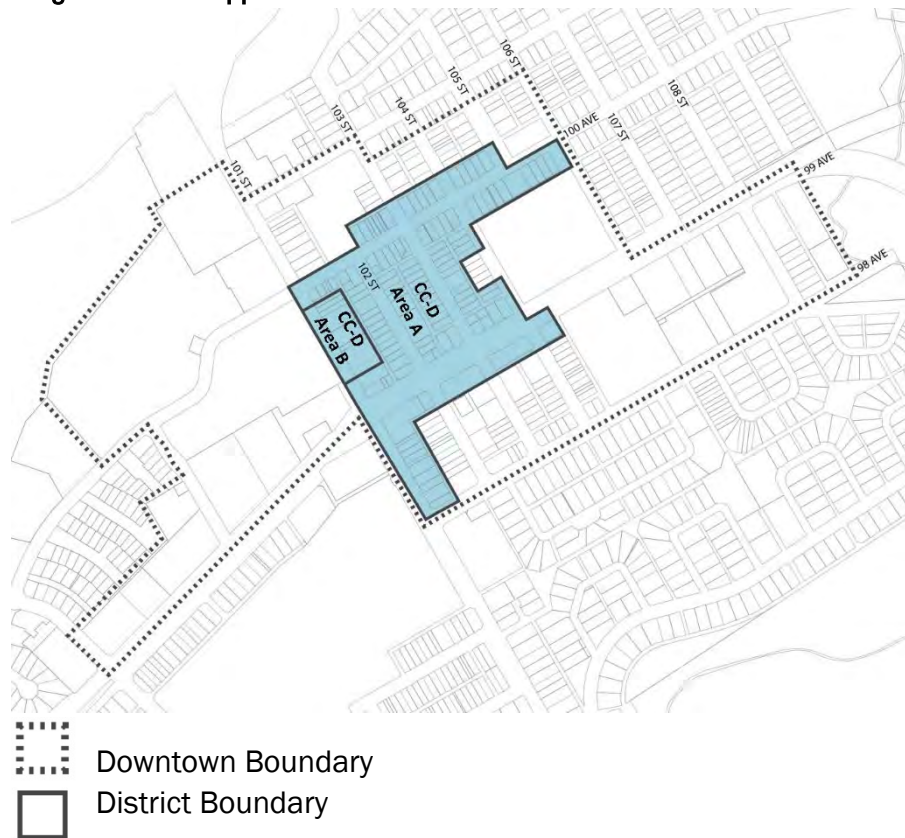
Warehouse, Distribution And Storage: means a single building Storage Facility in which all storage is indoors with an exterior loading and unloading dock. Exterior storage is not permitted except for licensed vehicles that may be parked for extended periods of time, but does not include recreational vehicles. It includes moving companies, trucking terminals and intermodal transfer areas.

Warehouse Sales: means development used for the wholesale or retail sale of a limited range of bulk goods from within an enclosed building where the size and nature of the principal goods being sold typically require large floor areas for direct display to the purchaser or consumer. This land use includes developments where principal goods being sold are such bulky items as furniture, carpet, major appliances and building materials. This land use does not include Flea Markets or developments used for the retail sale of food or a broad range of goods for personal or household use.

DRAFT

10.14. CC-D - CORE COMMERCIAL - DOWNTOWN

Figure 10.14a: Applicable Area for CC-D District



10.14.1. Purpose

This District is intended to provide mixed use commercial developments in the heart of downtown and enhance its role as a key commercial and business centre within the City. Development in this area, particularly at street level, will be focused on retail, office, eating and drinking establishments, and service uses, with opportunities for residential above the ground floor of buildings. A mix of uses and urban design standards are intended to promote walkability and activity in the downtown core.

10.14.2. CC-D Permitted and Discretionary Uses

(a) Fundamental Use Provisions

The Fundamental Use Provisions as requisite qualifiers for Permitted and Discretionary Uses listed within 10.14.2 (b) and (c) shall ensure:

- i. That Business Support Service shall not be located on the ground floor.
- ii. That Child Care Facility shall not be located within an Above Ground Floor Housing.
- iii. That notwithstanding 10.14.2 (b) and (c) the following uses are only Discretionary Uses if located on a site adjacent to 99 Avenue:
 - A. Sign, Freestanding
 - B. Vehicle Repair Facility (Limited)
 - C. Vehicle Wash
- iv. That any Use which includes a drive-through service shall be considered neither Permitted nor Discretionary Uses.

| (b) CC-D Permitted | (c) CC-D Discretionary |
|--|---|
| <ul style="list-style-type: none"> - Above Ground Floor Housing - Assisted Living Facility - Child Care Facility - Commercial School - Entertainment Facility, Indoor - Health Service - Home Office - Hotel - Parking Facility - Pet Care Service - Place of Worship - Public Facility - Retail, Office, and Entertainment - Retail Store (Liquor) - Seasonal Garden Centre - Show Home - Sign, Billboard (Limited) - Sign, Fascia - Sign, Fascia (Limited) - Sign, Portable - Sign, Portable (Limited) - Sign, Projecting - Veterinary Clinic <p>Accessory development to any use listed in subsection 10.14.2(b)</p> | <ul style="list-style-type: none"> - Breweries, Wineries, and Distilleries - Community Service Facility - Custom Manufacturing Establishment - Emergency Response Service - Entertainment Facility, Outdoor - Funeral Home - Government Service - Live Work Unit - Late Night Club - Pawn Shop - Private Club - Recreation Facility, Indoor - Recreation Facility, Outdoor - Recycling Drop-off - Retail Store (Cannabis) - Service Station (Limited) - Sign, Freestanding - Sign, Freestanding (Limited) - Temporary Outdoor Event - Temporary Sales Centre - Vehicle Repair Facility (Limited) - Vehicle Wash <p>Accessory development to any use listed in subsection 10.14.2(c)</p> |

10.14.3. CC-D Site Subdivision Regulations

| | Interior or Corner Site |
|----------------|---------------------------|
| (a) Site Area | 150m ² minimum |
| (b) Site Width | 5.0m minimum |
| (c) Site Depth | 30.0m minimum |

10.14.4. CC-D Site Development Regulations

| | Interior or Corner Site |
|--|---|
| (a) Front Setback and Flanking Front Setback | Minimum 0.0m to 2.0m in order to achieve a continuous pedestrian zone. Maximum 3.0m |
| (b) Side Setback | Minimum 0.0m or 2.0m |
| (c) Rear Setback | Minimum 0.0m for sites adjacent a Non-Residential Land Use District. Minimum 4.5m for sites adjacent to a Residential Land Use District. |
| (d) Site Coverage | Maximum 100% |
| (e) FAR | CC-D Area A Maximum 4.0 CC-D Area A Residential Maximum 3.0 CC-D Area B Maximum 4.0 |
| (f) Unit Density | CC-D Area A Maximum 250 units/ha CC-D Area B |

| | |
|---------------------------------|--|
| | <p>Maximum 200 units/net residential hectare for sites less than 1500m².</p> <p>Maximum 350 units/net residential hectare for sites greater than 1500m².</p> |
| (g) Building Height | <p>CC-D Area A Maximum 4 Storeys (13.5m)</p> <p>CC-D Area B Maximum 8 Storeys (25.5m)</p> |
| (h) Common Amenity Area | Minimum 4.5m ² per dwelling unit. |
| (i) Private Amenity Area | Minimum 3.0m ² per dwelling unit to be provided for balconies. |

Built Form Regulations

10.14.5. Building Height Limits

- (a) New development shall be in accordance with the height limits established in Figure 10.14b.

Figure 10.14b: Core Commercial District - Downtown Maximum Height Limits



- (b) The maximum parapet height for the top storey shall not exceed 1.5m.
- (c) Vents, mechanical rooms and equipment, elevator penthouses etc. shall be integrated into the architectural treatment of building roof or screened with materials and finishes compatible with the building to reduce visibility from street level.

10.14.6. Street Character and Pedestrian Realm

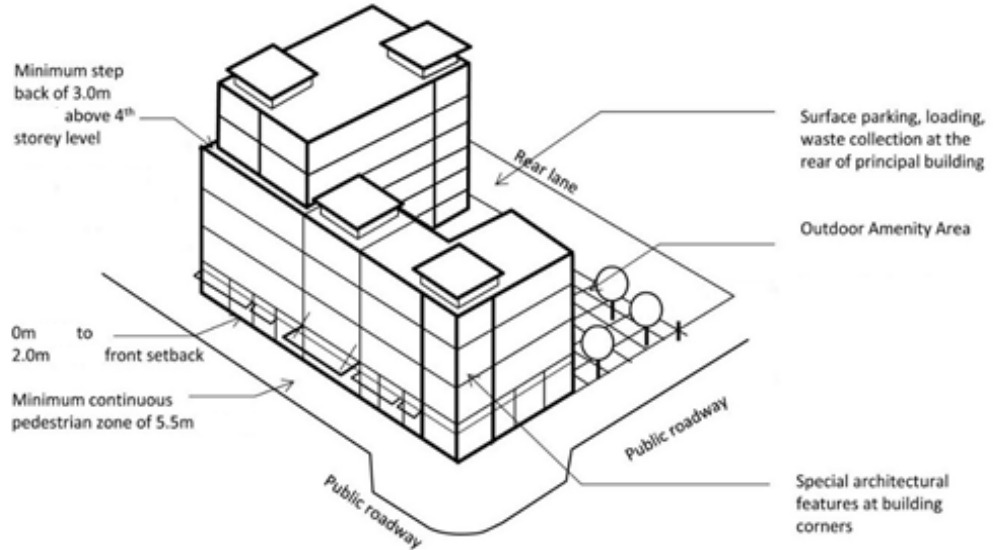
- (a) The front setback shall be hard surfaced from the City sidewalk to the front of the building with a consistent treatment and theme to the satisfaction of Development Authority.
- (b) Building façades and landscapes fronting 101 Street should include architectural elements that may complement the historic buildings and landscape elements within the Historic Precinct Site.

10.14.7. Building Massing and Architectural Character

- (a) New development or redevelopment at the intersection of 99 Avenue and 101 Street shall incorporate special architectural treatment to establish a sense of arrival to the downtown.
- (b) The base zone shall be a minimum height of 2 storeys (7.5m) and a maximum height of 4 storeys (13.5m).
- (c) For buildings above four storeys, the middle zone shall include any storeys above the base zone and shall provide a minimum setback of 3.0m for any façade that faces a public realm, as per Figure 10.14c.

- (d) Buildings located on corner lots shall be designed with expressive massing and architectural features that relate to and enforce the street corner, as per Figure 10.14c.

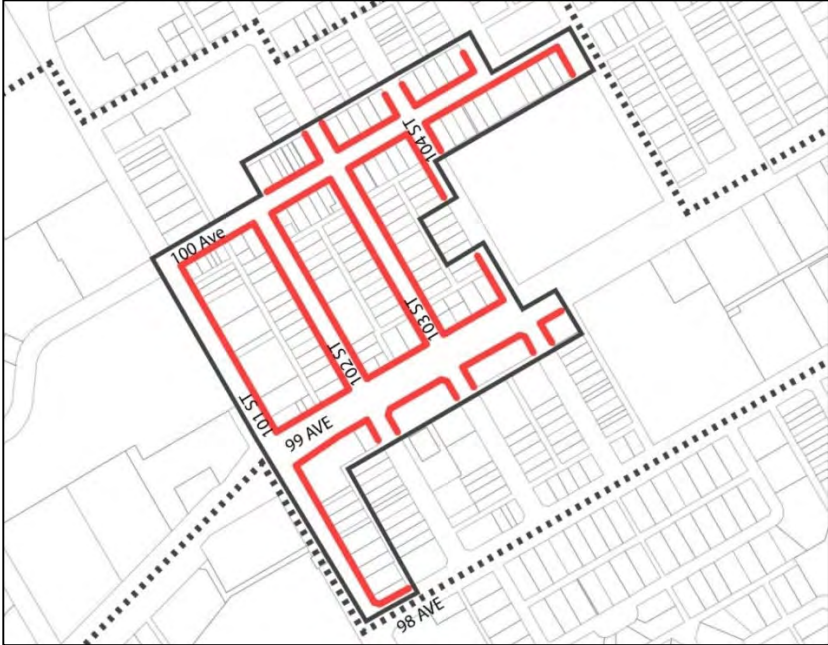
Figure 10.14c: Building Massing



10.14.8. Ground Floor Frontages

- (a) The land uses along ground floors of all buildings in this District shall be in accordance with Figure 10.14d, whereas:
- i. New residential development shall be required to provide non-residential uses at the ground floor level; and
 - ii. Surface and structure parking areas shall be located behind ground floor uses, or at the rear of the building and screened from the street.

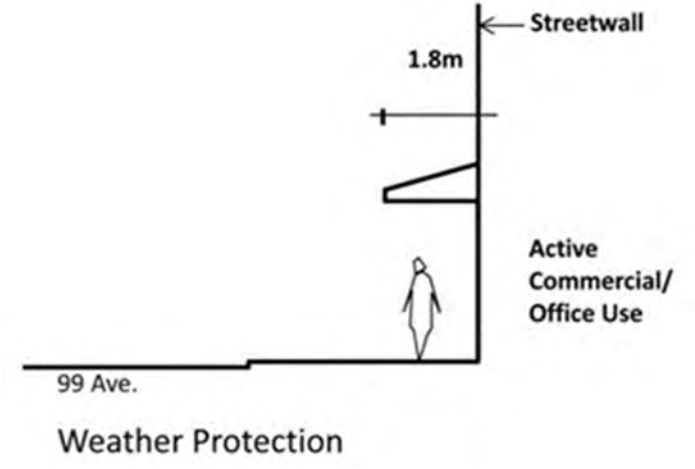
Figure 10.14d: Core Commercial District - Downtown Ground Floor Frontage



10.14.9 Canopies and Weather Protection

- (a) A continuous weather protection of minimum 1.8m width or other means of weather protection at the discretion of the Development Authority shall be encouraged at the ground floor of all building facades fronting 99 Avenue and 100 Avenue, as per Figure 10.14e.

Figure 10.14e: Weather Protection along 99 Avenue





10.14.10 Additional Development Regulations

- (a) All development and uses within this Land Use District are subject to the applicable provisions of Part 5 - General Regulations for all Land Use Districts, Sections 10.1 to 10.13 of Part 10 - Downtown Land Use Districts - General Regulations, Part 13 - Parking and Loading, and Part 14 - Signs.
- (b) Where lane access is provided, sites shall be designed to use the lane.
- (c) Vehicular access to on-site parking areas of properties that front 99 Avenue, 100 Avenue, 101 Street, 102 Street, 103 Street, 104 Street, 105 Street and 106 Street shall be from rear lanes. Where vehicle access to on-site parking areas from rear lanes is not feasible, the Development Authority may allow access from streets provided the applicant provides additional design features to screen the on-site parking lot from the street.

10.20. PS-D - PUBLIC SERVICES - DOWNTOWN

Figure 10.20a: Applicable Area for PS-D District



-  Downtown Boundary
-  District Boundary

10.20.1. Purpose

This District is intended to accommodate institutional uses that serve the social needs of the community within a downtown setting.

10.20.2. PS-D Permitted and Discretionary Uses

(a) Fundamental Use Provisions

The Fundamental Use Provisions as requisite qualifiers for Permitted and Discretionary Uses listed within 10.20.2 (b) and (c) shall ensure:

- i. None.

| (b) PS-D Permitted | (c) PS-D Discretionary |
|--|---|
| <ul style="list-style-type: none"> - Assisted Living Facility - Child Care Facility - Community Service Facility - Education (Private) - Education (Public) - Emergency Response Service - Government Service - Health Service - Parking Facility - Public Facility - Sign, Billboard (Limited) - Sign, Fascia - Sign, Fascia (Limited) - Sign, Portable - Sign, Portable (Limited) - Sign, Projecting <p>Accessory development to any use listed in subsection 10.20.2(b)</p> | <ul style="list-style-type: none"> - Entertainment Facility, Outdoor - Funeral Home - Group Home - Place of Worship - Professional, Financial and Office Service - Recreation Facility, Indoor - Recreation Facility, Outdoor - Sign, Electric Message - Temporary Outdoor Event <p>Accessory development to any use listed in subsection 10.20.2(c)</p> |

10.20.3. PS-D Site Subdivision Regulations

| | Interior or Corner Site |
|-----------------------|---|
| (a) Site Area | At the discretion of Subdivision Authority. |
| (b) Site Width | At the discretion of Subdivision Authority. |
| (c) Site Depth | At the discretion of Subdivision Authority. |

10.20.4. PS-D Site Development Regulations

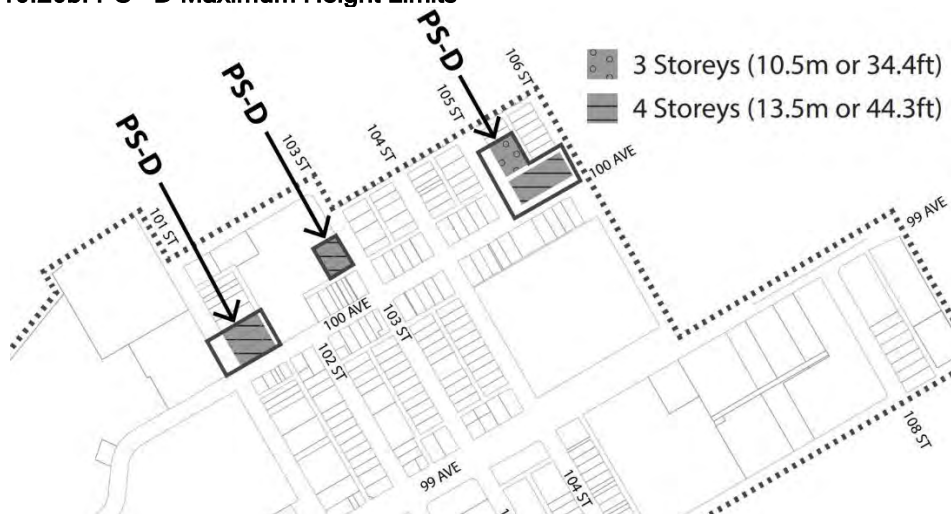
| | Interior or Corner Site |
|--|---|
| (a) Front Setback and Flanking Front Setback | Minimum 0.0m |
| (b) Side Setback | Minimum 3.0m |
| (c) Rear Setback | At the discretion of the Development Authority for sites abutting a Non-Residential Land Use District. Minimum 8.0m for sites abutting to a Residential Land Use District. |
| (d) Site Coverage | Maximum 60% |
| (e) Building Height | Maximum 14.0m for a principal building Maximum 30.0m for towers or structural components of buildings not intended for human occupation. Refer to Section 10.20.5. |

Built Form Regulations

10.20.5. Building Height Limits

- (a) New development shall be in accordance with the height limits established in Figure 10.20b.

Figure 10.20b: PS - D Maximum Height Limits



- (b) The maximum parapet height for all new buildings shall not exceed 1.5m.
- (c) Vents, mechanical rooms and equipment, elevator, penthouses, etc. shall be integrated into the architectural treatment of building roof or screened with materials and finishes compatible with the building.

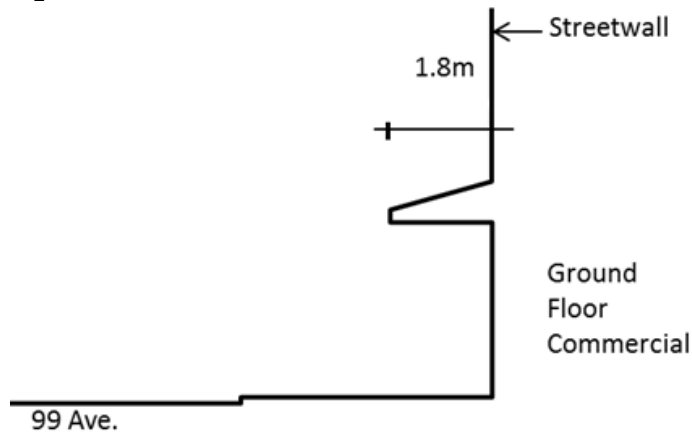
10.20.6. Street Character and Pedestrian Realm

- (a) The front setback shall be hard surfaced from the City sidewalk with a consistent treatment and theme to the satisfaction of Development Authority.
- (b) Commercial uses shall be limited to ground floor only.

10.20.6. Canopies and Weather Protection

- (a) A continuous weather protection of minimum 1.8m width or other means of weather protection at the discretion of the Development Authority shall be encouraged at the ground floor of all building facades fronting 99 Avenue and 100 Avenue, as per Figure 10.20c.

Figure 10.20c: Weather Protection



10.20.7. Additional Development Regulations

- (a) All development and uses within this Land Use District are subject to the applicable provisions of Part 5 - General Regulations for all Land Use Districts, Sections 10.1 to 10.13 of Part 10 - Downtown Land Use Districts - General Regulations, Part 13 - Parking and Loading, and Part 14 - Signs.
- (b) Where lane access is provided, sites shall be designed to use the lane.
- (c) The siting and appearance of all buildings or improvements, and the landscaping of the site shall be to the satisfaction of the Development Authority in order that there shall be general conformity with adjacent buildings, and that there may be adequate protection afforded to the amenities of adjacent buildings and sites. The form and character of buildings shall complement adjacent residential character of the neighbourhood.

- (d) Vehicular accesses 100 Avenue, 105 Street and 106 Street to on-site parking areas within individual sites shall be minimized. Where possible, vehicular access should be provided from rear lanes.

10.17. RMM-D - Medium Density Multiple Residential - Downtown

Figure 10.17a: Applicable Area for RMM-D District



10.17.1. Purpose

This District intended to provide medium density residential uses. The purpose of these areas is to accommodate primarily apartment style buildings with some commercial uses. Development is intended to support the concept of a livable urban setting with a strong sense of identity and place.

10.17.2. RMM-D Permitted and Discretionary Uses

(a) Fundamental Use Provisions

The Fundamental Use Provisions as requisite qualifiers for Permitted and Discretionary Uses listed within 10.17.2 (b) and (c) shall ensure:

- i. Home Business and Group Home (Limited) Uses shall not occur within an Apartment.
- ii. That any Use which includes a drive-through service shall be considered neither Permitted nor Discretionary Uses.

| (b) RMM-D Permitted | (c) RMM-D Discretionary |
|--|---|
| <ul style="list-style-type: none"> - Apartment - Home Office - Multi-Attached Housing - Show Home - Sign, Billboard (Limited) - Sign, Fascia - Sign, Fascia (Limited) - Sign, Portable - Sign, Portable (Limited) - Sign, Projecting - Sign, Realtor Consolidated <p>Accessory development to any use listed in subsection 10.17.2(b)</p> | <ul style="list-style-type: none"> - Assisted Living Facility - Eating & Drinking Establishment - Group Home (Limited) - Home Business - Live Work Unit - Personal Service - Professional, Financial and Office Service - Retail Store (Convenience) - Temporary Outdoor Event - Temporary Sales Centre <p>Accessory development to any use listed in subsection 10.17.2(c)</p> |

10.17.3.RMM-D Site Subdivision Regulations

| | Interior or Corner Site |
|-----------------------|---|
| (a) Site Area | 300m ² minimum |
| (b) Site Width | At the discretion of Subdivision Authority. |
| (c) Site Depth | At the discretion of Subdivision Authority. |

10.17.4.RMM-D Development Regulations for Multi-Attached Housing

| | Interior or Corner Site |
|-------------------------------|------------------------------|
| (a) Front Yard Setback | Minimum 3.0m Maximum 4.5m |
| (b) Side Yard Setback | Minimum 1.5m |
| (c) Rear Setback | Minimum 8.0m |
| (d) Building Height | Refer to Section 10.17.6 |

| | |
|--------------------------|---|
| (e) Site Coverage | 45% maximum for principal building over one storey, excluding decks 50% maximum for principal building of one storey, excluding decks 52% maximum for all buildings and structures where principal building is over one storey 57% maximum for all buildings and structures where principal building is one storey |
| (f) FAR | Maximum 2.0 |
| (g) Density | 150 units/net hectare |

10.17.5.RMM-D Development Regulations for Apartments

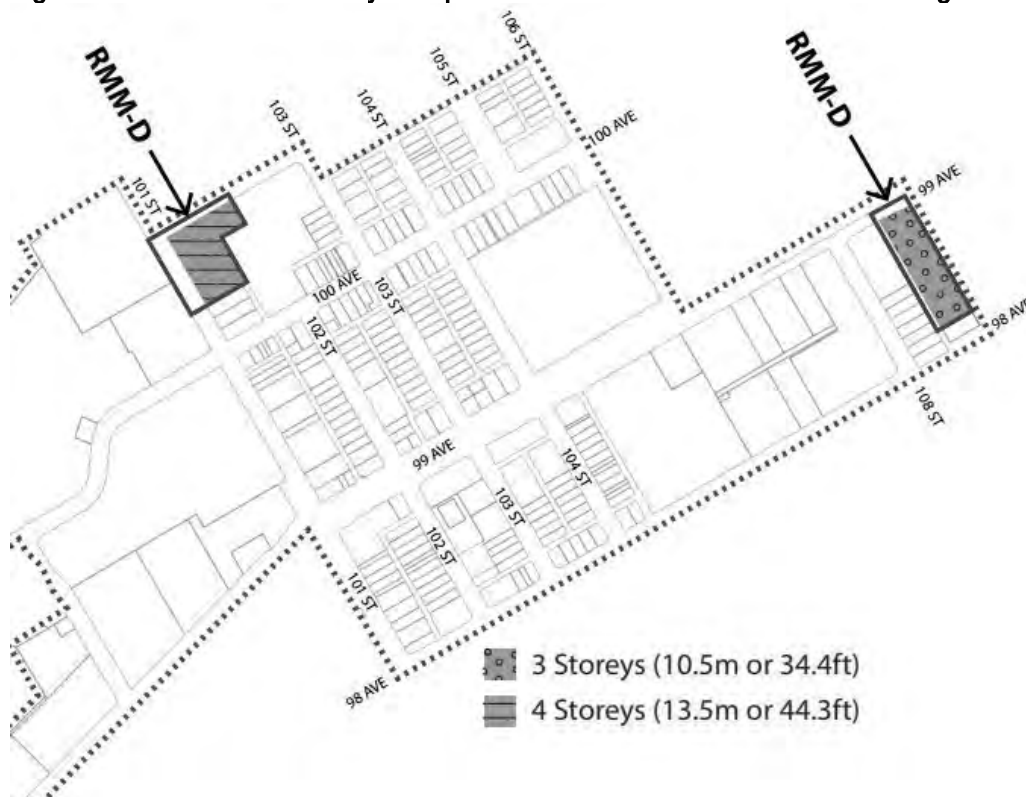
| | Interior or Corner Site |
|--|--------------------------|
| (a) Front and Flanking Yard Setback | Minimum 3.0m |
| (b) Side Yard Setback | Minimum 3.5m |
| (c) Rear Setback | Minimum 7.0m |
| (d) Building Height | Refer to Section 10.17.6 |
| (h) Site Coverage | 50% maximum |
| (i) FAR | Maximum 2.0 |
| (j) Density | 150 units/net hectare |

Built Form Regulations

10.17.6. Building Height Limits

- (b) New development shall be in accordance with the height limits established in Figure 10.17b.

Figure 10.17b: Medium Density Multiple Residential - Downtown Maximum Height Limits



- (b) The maximum parapet height for all new buildings shall not exceed 1.5m.
- (c) Vents, mechanical rooms and equipment, elevator penthouses etc. shall be integrated into the architectural treatment of building roof or screened with materials and finishes compatible with the building.

10.17.7. Building Massing and Architectural Character

- (a) New buildings at the intersection of the following streets shall incorporate special architectural treatment to achieve a sense of arrival to the downtown.
 - i. 101 Avenue and 101 Street;
 - ii. 99 Avenue and 108/108A Street; and
 - iii. 98 Avenue and 108/108A Street.

10.17.8. Pedestrian Entrances

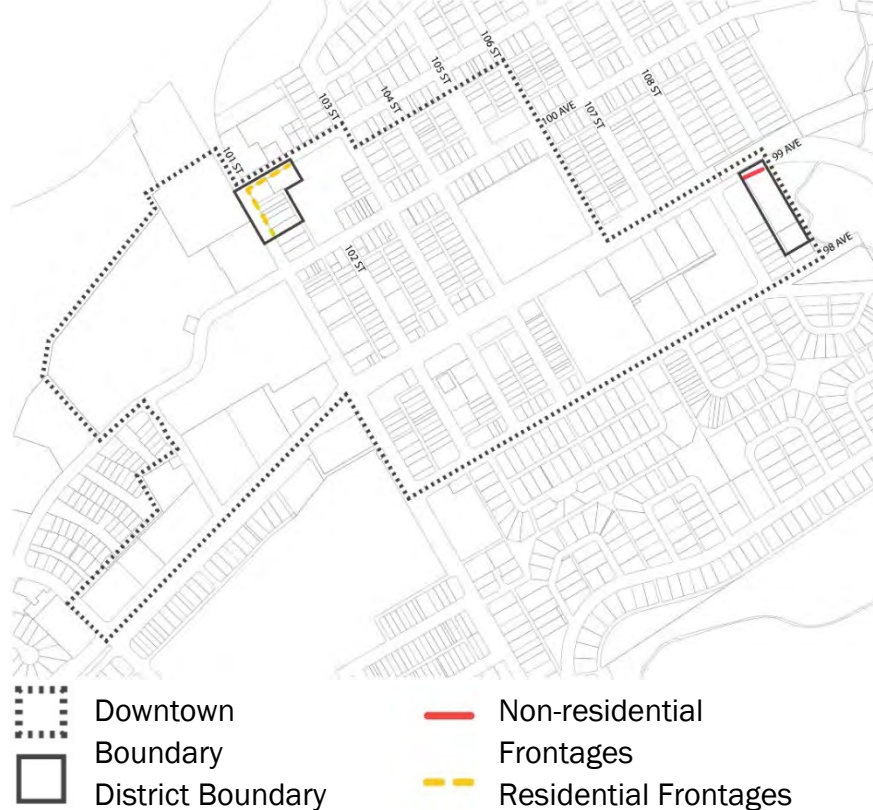
- (a) Ground floor entrances to residential units shall be at least 1.0m above grade and shall provide active frontages including porches, decks, or other architectural features.

10.17.9. Ground Floor Frontages

- (a) The land uses along ground floors of all buildings in this District shall be in accordance with Figure 10.17c, whereas:

- i. Ground floor uses along east side of 101 Street and south 101 Avenue shall be limited to residential uses;
- ii. Ground floor uses along the south side of 99 Avenue shall be limited to non-residential uses; and
- iii. Surface and structure parking areas shall be located at the rear of the building and partially screened from public roadway on corner sites using appropriate landscaping methods.

Figure 10.17c: Medium Density Multiple Residential - Downtown Street Frontages



10.17.10. Additional Development Regulations

- (a) All development and uses within this Land Use District are subject to the applicable provisions of Part 5 - General Regulations for all Land Use Districts, Sections 10.1 to 10.13 of Part 10 - Downtown Land Use Districts - General Regulations, Part 13 - Parking and Loading, and Part 14 - Signs.
- (b) Where lane access is provided, sites shall be designed to provide access to onsite parking from the lane.
- (c) Vehicular accesses from 101 Street and 101 Avenue to on-site parking areas within individual sites shall be minimized.